TOWNSHIP OF MARLBORO
Zoning Board of Adjustment

- PETITION ON APPEAL -

ZB#: _____

THE ZONING BOARD OF ADJUSTMENT OF MARLBORO TOWNSHIP:

Petition of ___GFY Services LLC_____ Respectfully shows that

a.   _____ Applicant is owner of the property described below

b.   __XXX__ Applicant is __Contract-Purchaser_____ and is duly

authorized by __Jennylyn Wall_____ , the owner of

said property, to prosecute the within appeal. The affidavit of said owner is

attached hereto.

The property affected by this appeal is known as _431 Texas Road_____

Block ___147_____ , Lot(s) _____9_____ , as shown on the latest tax map of the

Township. Said property is located in a __LC_____ zone. As designated by

the Zoning Map and Zoning Ordinance of the Township of Marlboro currently in effect.

_____ Applicant applied for a building permit to construct (make alterations to the

following building or structure) for the following use: _____

_____

_____

_____ Applicant applied to the Zoning Officer for permission to: _____

_____

_____

The Zoning Officer declined to issue such permit on the _____ day of _____ 2018 , for

the following: _____

_____

Front Yard Setback _____   Rear Yard Setback _____

Side Yard Setback _____   and _____

Height of Building _____   # of Stories _____

Other Information _____ SEE ZONING CHART _____

Applicant requested that appropriate relief (variance), (recommendation of variance), (special

use permit) be granted for the following: _____

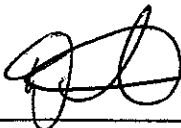_____ preliminary and final site plan and use variance _____

_____

_____

There has been no prior application to this Board for any relief relating to the property

affected by this appeal except _____

_____

_____

The following fees are submitted to support this petition:

a. Filing (Application Fee) of $_____   b. (Escrow) $_____

c. _____   d. _____

Applicant requests that a day be fixed for the holding of a Public Hearing on this Appeal.
Applicant shall, in compliance with statutory requirements, cause the required Notices of the
Public Hearing to be served upon all owners of property situated within two hundred (200)
feet of the above described property affected by this appeal (if property is located within 22
feet of an adjacent municipality or abuts a county road or proposed county road) upon the

_____ County Zoning Board and Municipality of _____

whereof Applicant respectfully states that your Zoning Board, after Public Hearing, grant the

relief requested.

DATED: 3 -20·20 _____

_____ Applicant's Signature _____