

**PROPERTY WITHIN 200 FEET OF
BLOCK 355, LOTS 6, 7, 8 & 11 - MARLBORO TOWNSHIP**

BLK	LOT	AREA	OWNER	PROPERTY LOCATION	MAP
355	6	0.15	...	...	...
355	7	0.15	...	...	...
355	8	0.15	...	...	...
355	11	0.15	...	...	...

**C2 - NEIGHBORHOOD COMMERCIAL DISTRICT
BULK REQUIREMENTS**

MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

ZONING INFORMATION	SEE NOTE (1)	PROPOSED
MINIMUM TRACT AREA	10 ACRES	11.3 ACRES
MAXIMUM NUMBER OF UNITS	45	45
MAXIMUM IMPERVIOUS COVERAGE	60%	< 60%
MINIMUM LOT AREA (SINGLE-FAMILY) (S.F.)	4,000 S.F.	4,000 S.F.
MINIMUM LOT AREA (ATTACHED & SEMI-ATTACHED) (S.F.)	VARIES	3,458 S.F. MINIMUM
MINIMUM RIGHT-OF-WAY WIDTH	40 FEET	40 FEET
MINIMUM ROADWAY PAVEMENT WIDTH	24 FEET	24 FEET
MINIMUM PERIMETER BUILDING SETBACK	50 FEET	50 FEET
MINIMUM PERIMETER BUILDING SETBACK ROUTE 79	100 FEET	82.2 FEET (V)
MINIMUM FRONT YARD SETBACK	25 FEET	25 FEET
MAXIMUM ATTACHED UNITS	6	6
MINIMUM DISTANCE BETWEEN BUILDINGS (ATTACHED & SEMI-ATTACHED)	25 FEET	25 FEET
MINIMUM SIDE YARD BETWEEN FREESTANDING UNITS (ONE SIDE)	10 FEET	≥ 10 FEET
MAXIMUM BUILDING HEIGHT (FRONT)	3-STORY/35 FEET	< 35 FEET
MINIMUM AVERAGE UNIT WIDTH (SINGLE-FAMILY)	30 FEET	> 30 FEET
MINIMUM UNIT SIZE	1,000 S.F.	> 1,000 S.F.
MAXIMUM PERMITTED DECK SIZE (SIDE AND REAR)	10 FEET X 10 FEET	TO COMPLY

(1) PER APPROVED USE VARIANCE FOR THE BIFURCATED APPLICATION ON 9/4/18, RES. Z.B. 18-6648 AND THE SETTLEMENT AGREEMENT DATED 3/20/2019.
(V) VARIANCE REQUESTED FOR PROPOSED LOT 8.25.

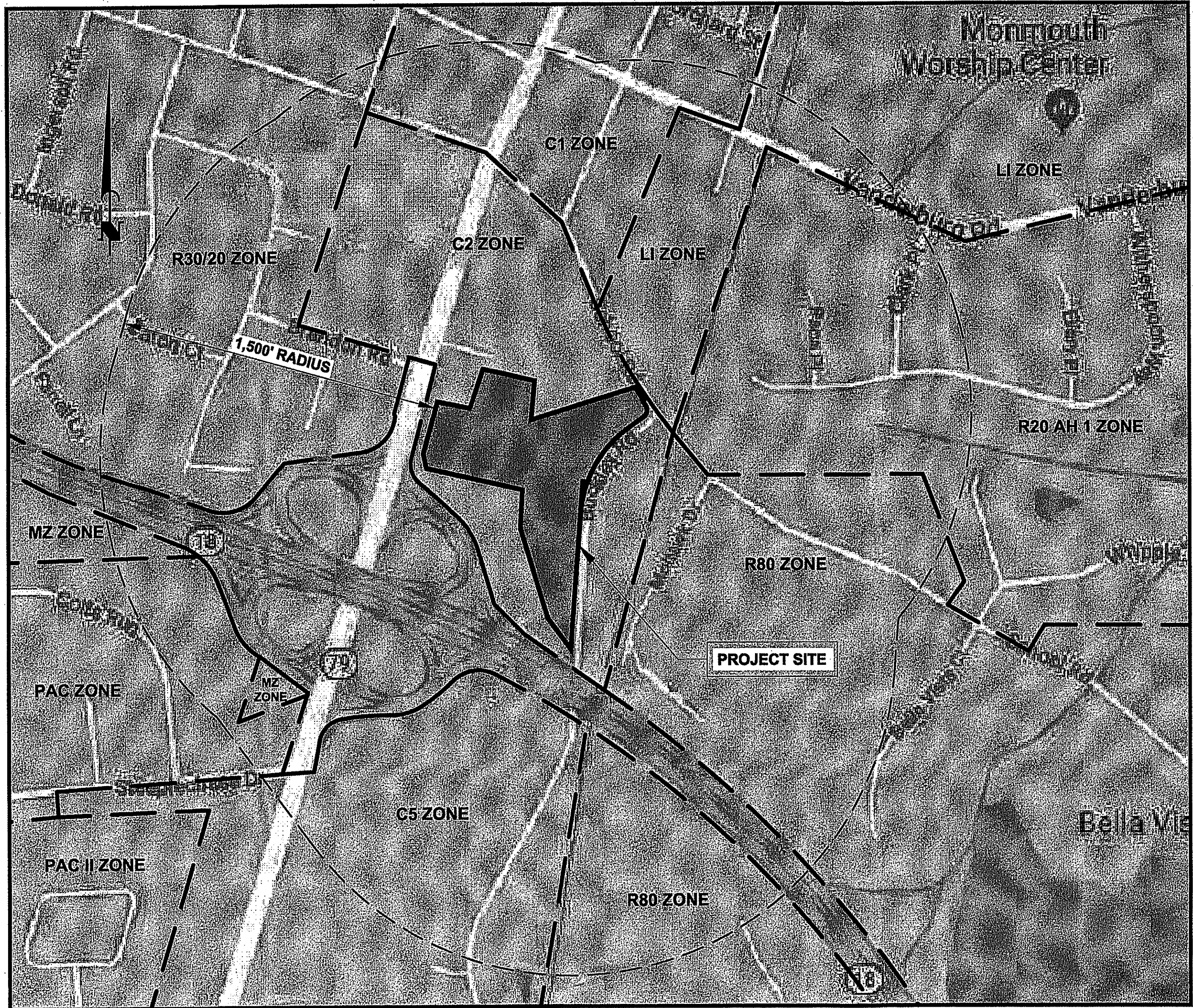
PARKING REQUIREMENTS

MINIMUM PARKING REQUIREMENTS	
SINGLE FAMILY HOMES (26 DWELLINGS)	
REQUIRED	78 * SPACES
PROVIDED	
GARAGE (ONE PER LOT)	26 SPACES
DRIVEWAY (TWO PER LOT)	52 SPACES
TOTAL	78 SPACES
TOWNHOUSES (19 DWELLINGS)	
REQUIRED	46 * SPACES
PROVIDED	
GARAGE (TOTAL)	19 SPACES
DRIVEWAY (TOTAL)	19 SPACES
PARKING BANKS (TOTAL)	21 SPACES
TOTAL	59 SPACES

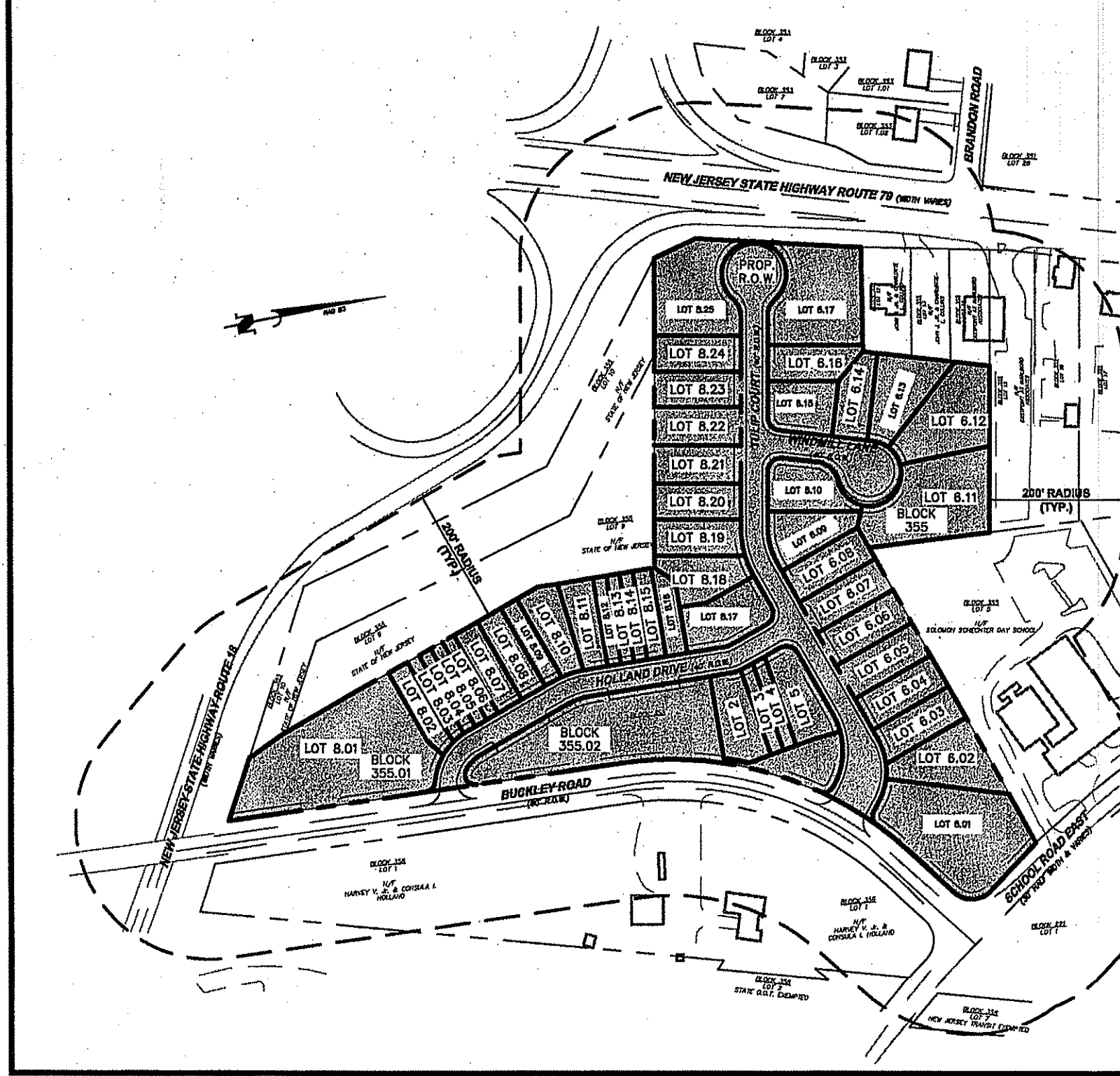
* AS PER RSIS TABLE 4.4 PARKING REQUIREMENT:
5-BEDROOM SINGLE FAMILY DWELLING: 3 SPACES PER DWELLING
3-BEDROOM TOWNHOUSE: 2.4 PER DWELLING

GENERAL NOTES:

- OWNER/APPLICANT: K. HOVNANIAN AT MARLBORO PLACE, LLC
110 FIELDCREST AVENUE
EDISON, NJ 08837
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING:
 - AS PER RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT, Z.B. 18-6648, APPROVED ON SEPTEMBER 4, 2018 AND MEMORIALIZED ON DECEMBER 11, 2018.
 - "BOUNDARY SURVEY BLOCK 355, LOTS 6, 7, & 11, TAX MAP SHEET 96, MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY", DATED 10/11/2019, LAST REVISED 10/18/2019, PREPARED BY DW SMITH ASSOCIATES, LLC.
 - "BOUNDARY SURVEY, TAX MAP SHEET 96, LOT 8, BLOCK 355, TOWNSHIP OF MARLBORO, NEW JERSEY", DATED 10/11/18, LAST REVISED 11/2/2018, PREPARED BY DW SMITH ASSOCIATES, LLC.
 - A TOPOGRAPHIC MAP PREPARED BY ATLANTIS AERIAL SURVEY CO., INC., DATED 2/10/99, SUPPLEMENTED AND VERIFIED BY DW SMITH FIELD PERSONNEL IN OCTOBER 2018.
 - TOWNSHIP OF MARLBORO TAX MAP SHEET #96, DATED 10/24/2008, LAST REVISED MAY 2009.
 - PROPERTY CONSISTS OF BLOCK 355, LOTS 6, 7, 8 & 11 AS SHOWN ON THE TOWNSHIP OF MARLBORO TAX MAP SHEET #96. TOTAL TRACT AREA = 11.33 ACRES.
 - PROPERTY IS LOCATED IN C2 NEIGHBORHOOD COMMERCIAL DISTRICT.
 - PER THE CURRENT EFFECTIVE FEMA MAP NO. 34025C0161F, DATED 9/25/09, THE PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD.
 - VERTICAL DATUM BASED ON N.A.S.D. 1988.
 - THIS PLAN HAS BEEN PREPARED FOR AMENDED PRELIMINARY AND FINAL MAJOR SUBDIVISION APPROVAL OF 26 SINGLE FAMILY UNITS AND 19 TOWNHOUSE UNITS, STORMWATER MANAGEMENT FACILITIES, UTILITIES, LANDSCAPING, LIGHTING, PARKING AND OTHER APPURTENANCES. A TOTAL OF 45 NEW LOTS WILL BE CREATED (45 BUILDABLE AND 3 NON-BUILDABLE). APPROVAL WAS GRANTED AT THE MAY 28, 2019 MEETING OF THE ZONING BOARD.
 - SIDEWALKS PROVIDED ON ONE SIDE OF THE STREET PER RSIS REQUIREMENTS. SIDEWALKS TO BE CONSTRUCTED OF CONCRETE OR PAVERS AT THE APPLICANT'S DISCRETION.
 - SOILS INFORMATION TAKEN FROM A REPORT PREPARED BY GENTECH ENGINEERING ASSOCIATES, PC, CONSULTING ENGINEERS, DATED APRIL 7, 2003. ADDITIONAL SOIL TESTING PERFORMED BY GENTECH ENGINEERING ASSOCIATES ON MAY 24, 2019.
 - ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.



KEY MAP
SCALE: 1" = 400'



VICINITY MAP
SCALE: 1" = 200'
GRAPHIC SCALE
200 100 0 200
(IN FEET)
1 INCH = 200 FEET

- ZONE KEY:**
- C1 = VILLAGE COMMERCIAL DISTRICT
 - C2 = NEIGHBORHOOD COMMERCIAL DISTRICT
 - C5 = COMMERCIAL DISTRICT
 - LI = LIGHT INDUSTRIAL DISTRICT
 - MZ = MUNICIPAL ZONE
 - PAC = PLANNED ADULT COMMUNITY DISTRICT
 - PAC II = PLANNED ADULT COMMUNITY DISTRICT
 - R20AH 1 = RESIDENTIAL DISTRICT
 - R30/20 = RESIDENTIAL DISTRICT
 - R80 = RESIDENTIAL DISTRICT

OWNER CERTIFICATION

I (WE) DO HEREBY CERTIFY TO BE THE OWNER(S) FOR THIS PROPERTY AS DESCRIBED ON THESE PLANS, AND DO HEREBY CONSENT TO THE FILING THEREOF WITH APPROPRIATE REGULATORY AGENCIES.

OWNER(S) K. HOVNANIAN AT MARLBORO PLACE, LLC

APPLICANT CERTIFICATION

I (WE) DO HEREBY CERTIFY TO BE THE APPLICANT(S) FOR THIS DESCRIBED ON THESE PLANS, AND DO HEREBY CONSENT TO THE FILING THEREOF WITH APPROPRIATE REGULATORY AGENCIES.

APPLICANT(S) K. HOVNANIAN AT MARLBORO PLACE, LLC

BY: _____ DATE _____
SWORN TO AND SUBSCRIBED BEFORE ME THIS ____ DAY OF _____, 2019.

BY: _____ DATE _____
SWORN TO AND SUBSCRIBED BEFORE ME THIS ____ DAY OF _____, 2019.

NOTARY PUBLIC OF THE STATE OF NEW JERSEY

NOTARY PUBLIC OF THE STATE OF NEW JERSEY

Sheet List Table

Sheet No.	SHEET TITLE	Last Revised
1	COVER SHEET	10/23/20
2	EXISTING CONDITIONS & DEMOLITION PLAN	10/20/20
3	COMPOSITE PLAN	10/23/20
4	GRADING & DRAINAGE PLAN	10/23/20
5	UTILITY PLAN	10/23/20
6	ROAD PROFILES	10/23/20
7	LANDSCAPE PLAN	10/23/20
8	LIGHTING PLAN	10/23/20
9	LIGHTING & LANDSCAPE DETAILS	10/20/20
10	SOIL EROSION & SEDIMENT CONTROL PLAN	10/23/20
11	SOIL EROSION & SEDIMENT CONTROL NOTES	10/20/20
12	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	10/20/20
13	CONSTRUCTION DETAILS-1	10/20/20
14	CONSTRUCTION DETAILS-2	10/20/20
15	CONSTRUCTION DETAILS- 3	10/20/20
16	CONSTRUCTION DETAILS- 4	10/20/20
SUPPLEMENTAL DRAWINGS		
1 OF 2	TREE SAVE PLAN	10/20/20
2 OF 2	TREE SAVE CHARTS	10/20/20
DA1 OF DA2	PRE DEVELOPMENT DRAINAGE AREA MAP	10/20/20
DA2 OF DA2	POST DEVELOPMENT DRAINAGE AREA MAP	10/23/20
1 OF 1	GORDON'S CORNER WATER CO. SUPPLEMENTAL INFORMATION PLAN	10/23/20
1 OF 1	FINAL PLAT	10/19/20

No.	DATE	BY	DESCRIPTION
14	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
13	10/20/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
12	03/10/2020	C.A.F.	REV. WATER SYSTEM FOR CLEARANCE PER NJDEP BWSSE REVIEW (RAMESH PATEL)
11	03/03/2020	C.A.F.	REVISED WATER SYSTEM PER NJDEP BWSSE LETTER DATED 02/19/2020
10	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
9	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
8	11/26/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
7	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
6	09/23/2019	C.A.F.	REVISED PER FSCD LETTER DATED 9/3/19 AND ADDED FINAL SEWER NOTE
5	08/23/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/28/2019
4	08/23/2019	C.A.F.	REVISED PER CME REVIEW COMMENTS 8/23/2019
3	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME VMA LTR. 7/10/19, FSCD LTR. 7/10/19, GORDON'S CORNER CHECKLIST
2	06/27/2019	C.A.F.	REVISED PAVEMENT DETAIL AS PER CLIENT'S REQUEST
1	06/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MTZB ENGINEER'S LETTER DATED 07/7/19

FINAL FOR SEWER DESIGN & WATER D

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
COVER SHEET

DW Smith
Associates, LLC
Greeneengineering

ENGINEERS ▽ PLANNERS ▽ SURVEYORS
ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTURE
NJ CERTIFICATE OF AUTHORIZATION 246A28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. No. 246E0427200

PROJECT No.:
DATE:
DESIGNED BY: S
C.A.F.
DRAWN BY: R
P.T.
SHEET: 1 OF 1

K. HOVNANIAN AT MARLBORO PLACE
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION

Printed: 10/23/2020 - 8:30 AM, By: plucker
File: S:\PROJECTS\2020\20-31A\04\Drawings\20-31A-001.dwg - COVER SHEET
© 2018 DW SMITH ASSOCIATES, LLC - Greeneengineering

TEST PIT LOG		TEST PIT LOG	
DEPTH (FEET)	IDENTIFICATION	DEPTH (FEET)	IDENTIFICATION
0	TOPSOIL 12"	0	TOPSOIL 12"
3	Brown of SAND, some SILT, trace of gravel	3	Brown of SAND, some SILT & Clay, trace of gravel
10	LOAMY SAND (HYDR. 64)	10	LOAMY SAND (HYDR. 64)
15	No Mottling	15	No Mottling
20	End of Test Pit @ 11'	20	End of Test Pit @ 11'

TEST PIT LOG		TEST PIT LOG	
DEPTH (FEET)	IDENTIFICATION	DEPTH (FEET)	IDENTIFICATION
0	TOPSOIL 12"	0	TOPSOIL 12"
3	Loamy sand, trace gravel	3	Loamy sand, trace gravel
10	No Mottling	10	No Mottling
15	End of Test Pit @ 11'	15	End of Test Pit @ 11'

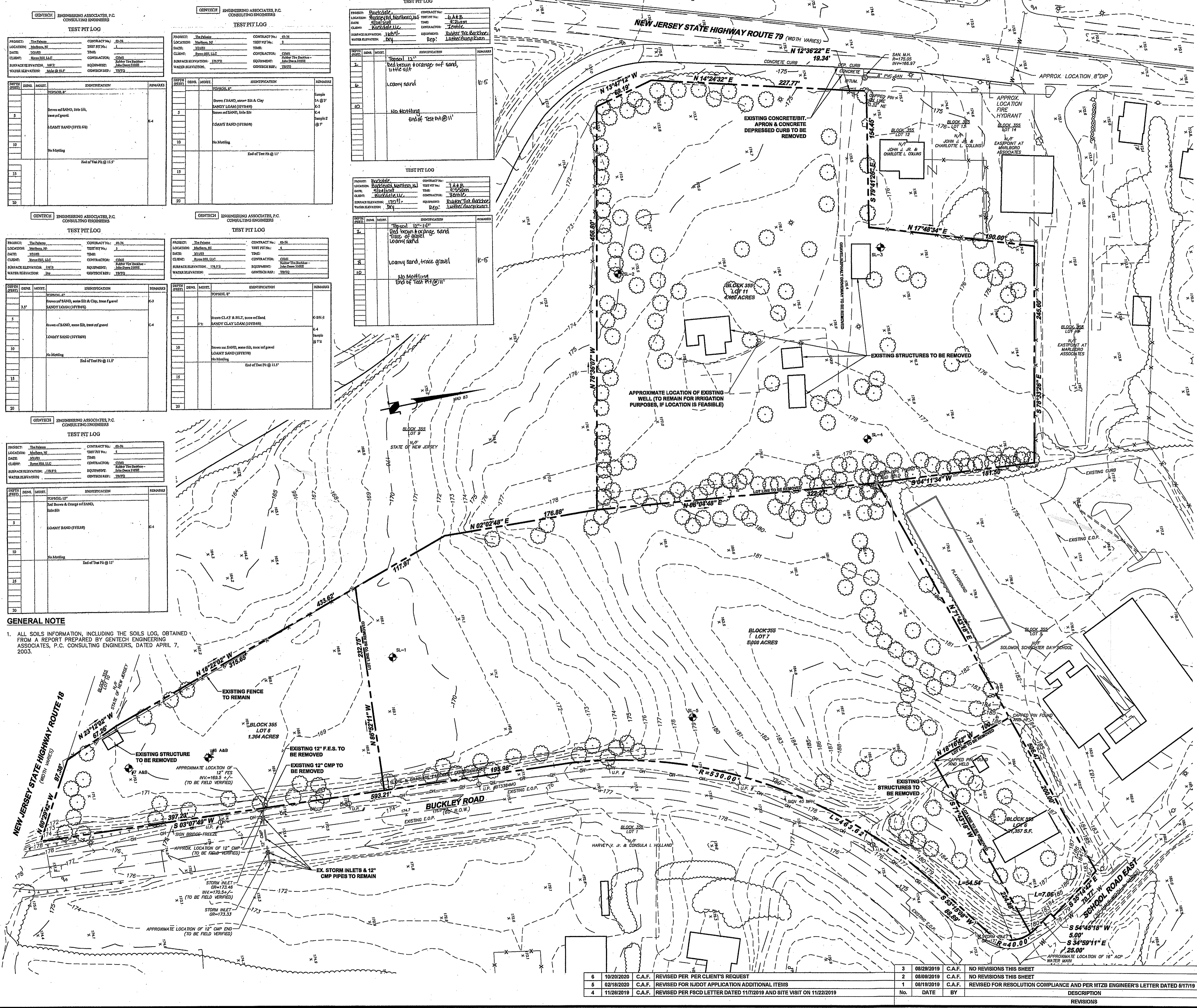
TEST PIT LOG		TEST PIT LOG	
DEPTH (FEET)	IDENTIFICATION	DEPTH (FEET)	IDENTIFICATION
0	TOPSOIL 12"	0	TOPSOIL 12"
3	Brown of SAND, some SILT, trace of gravel	3	Brown of SAND, some SILT, trace of gravel
10	LOAMY SAND (HYDR. 64)	10	LOAMY SAND (HYDR. 64)
15	No Mottling	15	No Mottling
20	End of Test Pit @ 11'	20	End of Test Pit @ 11'

TEST PIT LOG		TEST PIT LOG	
DEPTH (FEET)	IDENTIFICATION	DEPTH (FEET)	IDENTIFICATION
0	TOPSOIL 12"	0	TOPSOIL 12"
3	Loamy sand, trace gravel	3	Loamy sand, trace gravel
10	No Mottling	10	No Mottling
15	End of Test Pit @ 11'	15	End of Test Pit @ 11'

TEST PIT LOG		TEST PIT LOG	
DEPTH (FEET)	IDENTIFICATION	DEPTH (FEET)	IDENTIFICATION
0	TOPSOIL 12"	0	TOPSOIL 12"
3	Loamy sand, trace gravel	3	Loamy sand, trace gravel
10	No Mottling	10	No Mottling
15	End of Test Pit @ 11'	15	End of Test Pit @ 11'

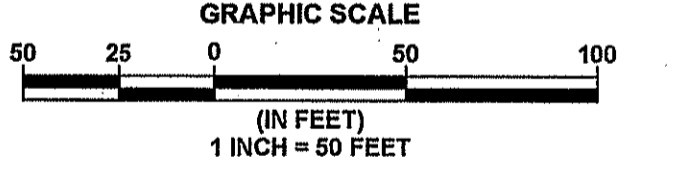
GENERAL NOTE

1. ALL SOILS INFORMATION, INCLUDING THE SOILS LOG, OBTAINED FROM A REPORT PREPARED BY GENTECH ENGINEERING ASSOCIATES, P.C. CONSULTING ENGINEERS, DATED APRIL 7, 2003.



LEGEND

SYMBOLS	LINES
BOLLARD	FENCE
CLEAN OUT	GUIDE RAIL
ELECTRIC MANHOLE	GAS MARKOUT
ELECTRIC METER	WATER MAIN MARKOUT
FIRE HYDRANT	WATER SERVICE MARKOUT
FLARED END SECTION	TELEPHONE MARKOUT
GAS METER	SANITARY MARKOUT
GAS VALVE	ELECTRIC MARKOUT
GUY ANCHOR	DEPRESSED CURB
IRON PIN FOUND	OVERHEAD WIRE
IRON PIPE FOUND	R.O.W. LINE/LOT LINE
LIGHT POLE	EASEMENT LINE
MAILBOX	EDGE OF WOODS
MANHOLE	
MARKER POST	
MONITOR WELL	
MONUMENT FOUND	
OUTLET CONTROL STRUCTURE	
PILING	
R.R. SPIKE FOUND	
SANITARY MANHOLE	
SHD MANHOLE	
SIGN	
SOIL BORING	
SPRINKLER HEAD	
STORM INLET	
STORM MANHOLE	
TELEPHONE MANHOLE	
TEST LEAD	
TEST PIT	
TRAFFIC STANDARD	
UTILITY BOX	
UTILITY POLE	
VEAT PIPE	
WATER SERVICE	
WATER METER	
WATER VALVE	
WETLAND FLAG	
SPOT ELEVATION	
TREE	



K. HOVNANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
EXISTING CONDITIONS & DEMOLITION PLAN

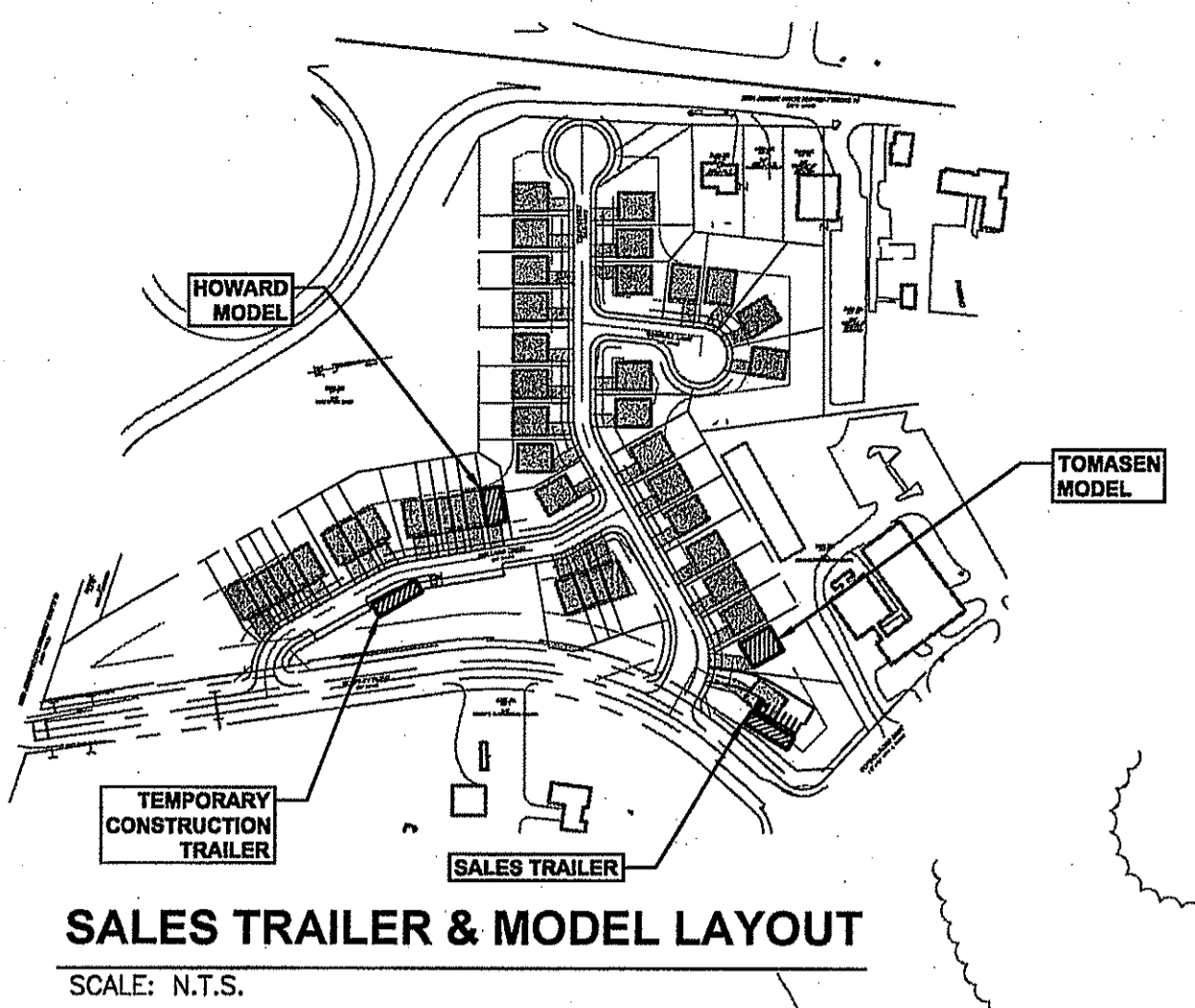
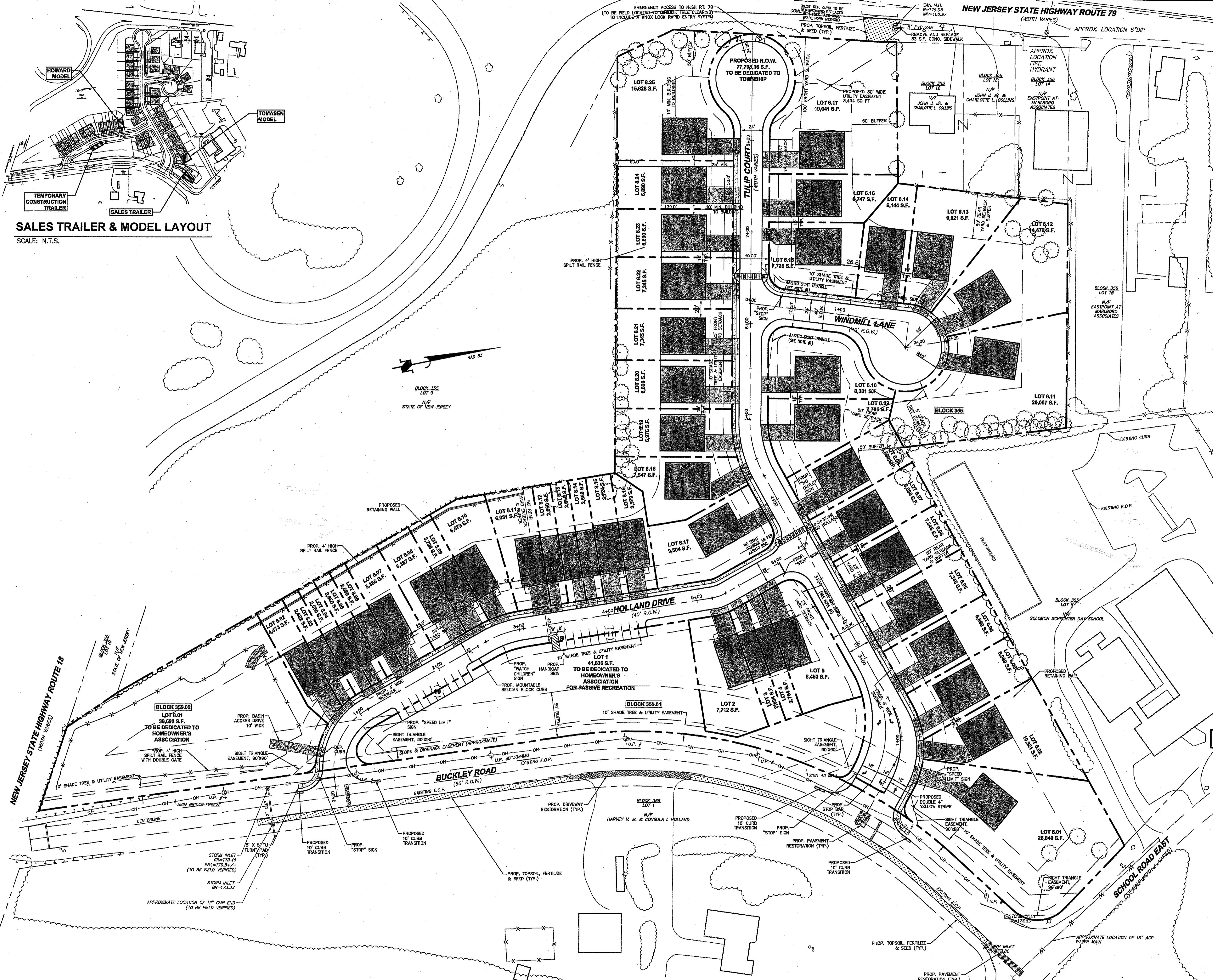
DW Smith
 Greengineering
 Associates, LLC
 1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07753 (732)363-6880 WWW.DWSMITH.COM
 ENGINEERS ▾ PLANNERS ▾ SURVEYORS
 ENVIRONMENTAL SERVICES ▾ COMMUNITY ASSH. SERVICES ▾ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 240A28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 246E0427200

PROJECT No.:	20-314.00
DATE:	MARCH 13, 2019
DESIGNED BY:	C.A.F.
SCALE:	1"=50'
DRAWN BY:	P.T.
REVIEWED BY:	C.A.F.
SHEET:	2 OF 16

No.	DATE	BY	DESCRIPTION
6	10/20/2020	C.A.F.	REVISED PER PER CLIENT'S REQUEST
5	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
4	11/28/2019	C.A.F.	REVISED PER PSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
3	02/28/2019	C.A.F.	NO REVISIONS THIS SHEET
2	02/08/2019	C.A.F.	NO REVISIONS THIS SHEET
1	04/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MTZB ENGINEER'S LETTER DATED 5/17/19

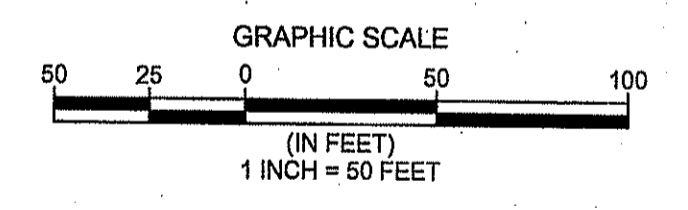
File: 10_02_20_20_314_00.dwg, P.L. 10/20/20
 File: S:\PROJECTS\2020\20-314\CAD\DWG\20-314-00.dwg - EXISTING CONDITIONS
 © 2019 DW SMITH ASSOCIATES, LLC - Greengineering



SIGHT TRIANGLE NOTE:
1. SIGHT TRIANGLES ON BUCKLEY HOLLAND DRIVEN SCHOOL ROAD EAST COMPLY WITH TOWNSHIP OF MARLBORO CODE SECTION 220-179. SIGHT TRIANGLES ON-SITE COMPLY WITH AASHTO REQUIREMENTS.

EXISTING		PROPOSED	
---	PROPERTY LINE	---	PROPERTY LINE
---	LOT NUMBER	---	LOT NUMBER
---	EASEMENT LINE	---	EASEMENT LINE
---	EDGE OF WOODS	---	EDGE OF WOODS
---	WETLANDS LINE	---	WETLANDS LINE
---	BUILDING	---	BUILDING
---	EDGE OF PAVEMENT	---	EDGE OF PAVEMENT
---	CURB	---	CURB
---	SIDEWALK	---	SIDEWALK
---	RETAINING WALL	---	RETAINING WALL
---	FENCE	---	FENCE
+	SIGN	+	SIGN
+	STREET SIGN	+	STREET SIGN
+	MAILBOX	+	MAILBOX
+	UTILITY POLE	+	UTILITY POLE
+	LIGHT FIXTURE	+	LIGHT FIXTURE
+	TEST PIT/BORING	+	TEST PIT/BORING
+	TREE	+	TREE

**BEFORE YOU DIG
CALL TOLL FREE
IN NJ
1-800-272-1000**
THREE WORKING DAYS BEFORE YOU DIG



FINAL FOR SEWER DESIGN & WATER DESIGN

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
**AMENDED PRELIMINARY & FINAL
MAJOR SUBDIVISION
COMPOSITE PLAN**



ENGINEERS ▽ PLANNERS ▽ SURVEYORS
ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. No. 24GE04247200

PROJECT No.:	DATE:	MA:
DESIGNED BY:	SCALE:	1"=40'
DRAWN BY:	REVIEW:	C.A.F.
SHEET:	3	OF 16

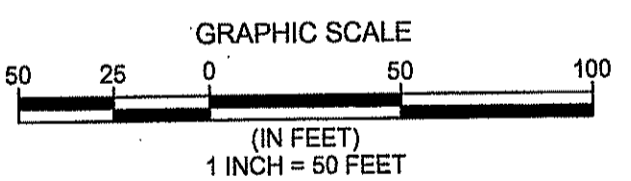
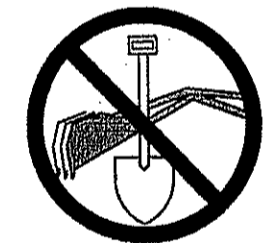
No.	DATE	BY	DESCRIPTION
9	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
8	10/20/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
7	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
6	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
5	11/26/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
4	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
3	08/29/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/28/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WHIA LTR. 7/16/19, FSCD LTR. 7/16/19, GORDON'S CORNER CHECKLIST
1	08/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MITZB ENGINEER'S LETTER DATED 6/17/19

Printed: 10/23/20 - 8:30 AM, By: plucker
File S:\PROJECTS\2020\20-314\CAD\Sheets\20-31400-STR.dwg-COMPOSITE PLAN
© 2018 DW SMITH ASSOCIATES, LLC - Greenengineering

NOTES:
 1. LOT GRADING TO MAINTAIN A MINIMUM OF 2% THROUGHOUT ALL YARD AREAS.
 2. SOIL BORING LOCATIONS TAKEN FROM GENTECH ENGINEERING ASSOCIATES, PC, CONSULTING ENGINEERS REPORT DATED APRIL 7, 2003, AND GENTECH ENGINEERING ASSOCIATES ON MAY 24, 2019.

EXISTING		PROPOSED	
	PROPERTY LINE		LOT 45
	LOT NUMBER		EDGE OF WOODS
	EASEMENT LINE		WETLANDS LINE
	ELEVATION		CONTOUR
	BUILDING		EDGE OF PAVEMENT
	CURB		RETAINING WALL
	SIDEWALK		FENCE
	UTILITY POLE		SIGN
	STREET SIGN		MAILBOX
	UTILITY POLE		LIGHT FIXTURE
	SANITARY SEWER		WATER
	WATER		STORM DRAINAGE
	STORM DRAINAGE		GAS
	GAS		TEST PIT/BORING
	TEST PIT/BORING		TREE

BEFORE YOU DIG
 CALL TOLL FREE
 IN NJ
 1-800-272-1000
 THREE WORKING DAYS BEFORE YOU DIG



K. HOVNANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
**AMENDED PRELIMINARY & FINAL
 MAJOR SUBDIVISION
 GRADING & DRAINAGE PLAN**

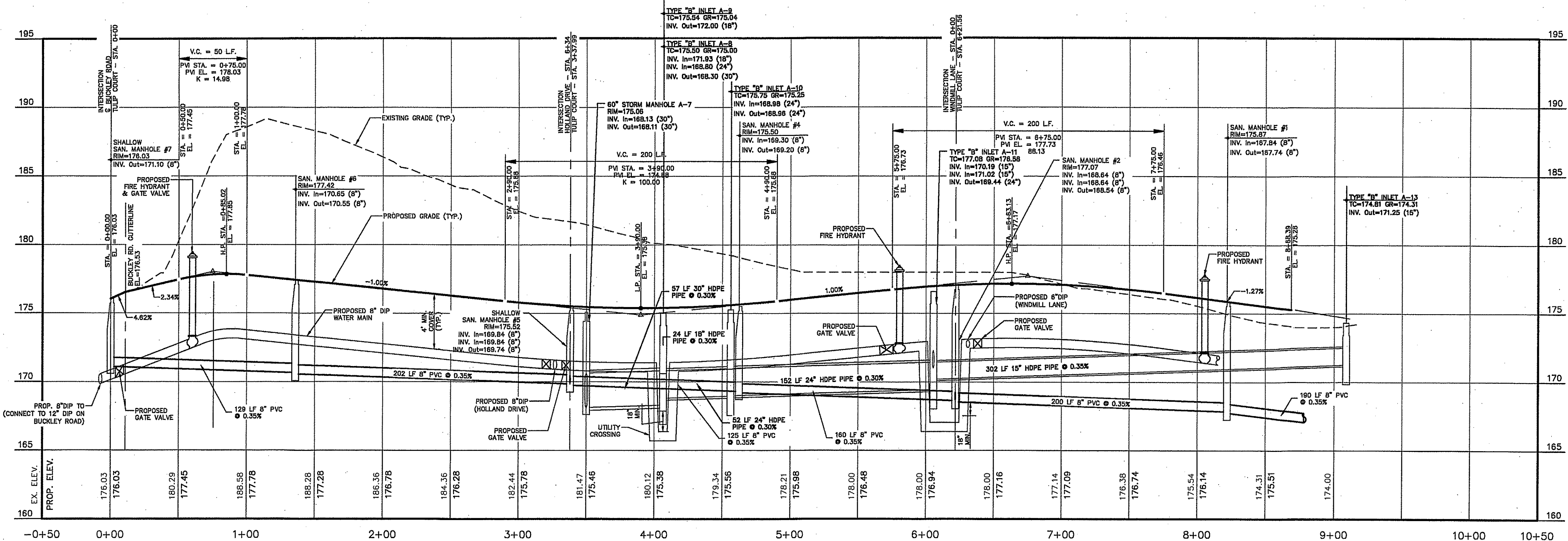
DW Smith Associates, LLC
 1450 STATE ROUTE 34
 WALL TOWNSHIP, NJ 07753
 (732)363-5880
 WWW.DWSMITH.COM
 ENGINEERS ▼ PLANNERS ▼ SURVEYORS
 ENVIRONMENTAL SERVICES ▼ COMMUNITY ASGN. SERVICES ▼ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. NO. 24GEN441200

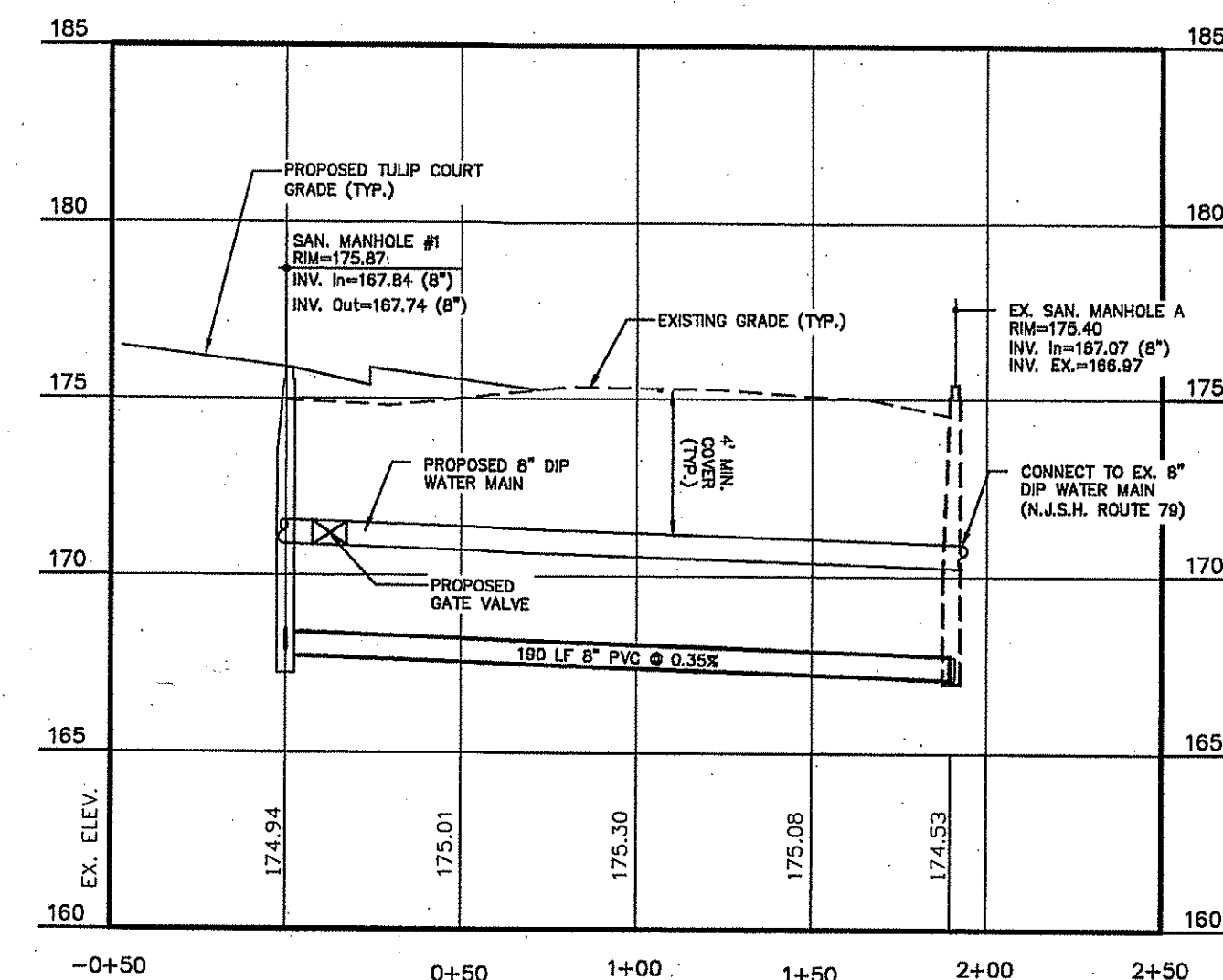
PROJECT No.: 20-314.00
 DATE: MARCH 13, 2019
 DESIGNED BY: C.A.F. SCALE: 1"=50'
 DRAWN BY: P.T. REVIEWED BY: C.A.F.
 SHEET: 4 OF 16

No.	DATE	BY	DESCRIPTION
10	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
9	10/20/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
8	03/03/2020	C.A.F.	REVISED WATER SYSTEM PER NJDEP BWSJE LETTER DATED 02/19/2020
7	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
6	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
5	11/26/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
4	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
3	08/29/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/29/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMAA LTR. 7/19/19, FSCD LTR. 7/19/19, GORDON'S CORNER CHECKLIST
1	08/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MITZ ENGINEER'S LETTER DATED 5/17/19

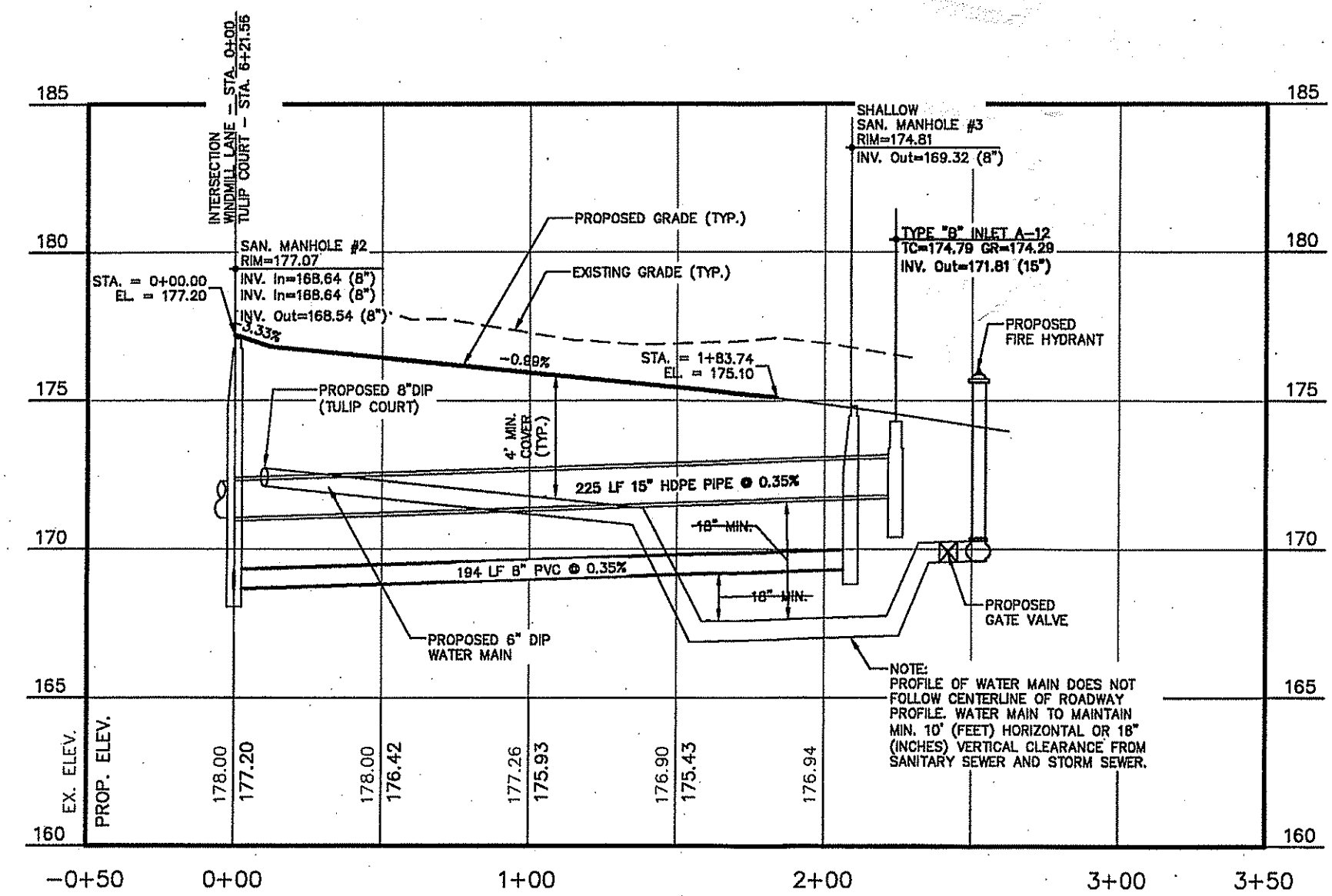
Printed: 10/23/2020 8:30 AM, By: ptk
 File: S:\PROJECTS\2020\20-314-00-STR.dwg
 © 2019 DW SMITH ASSOCIATES, LLC - Greenengineering.com



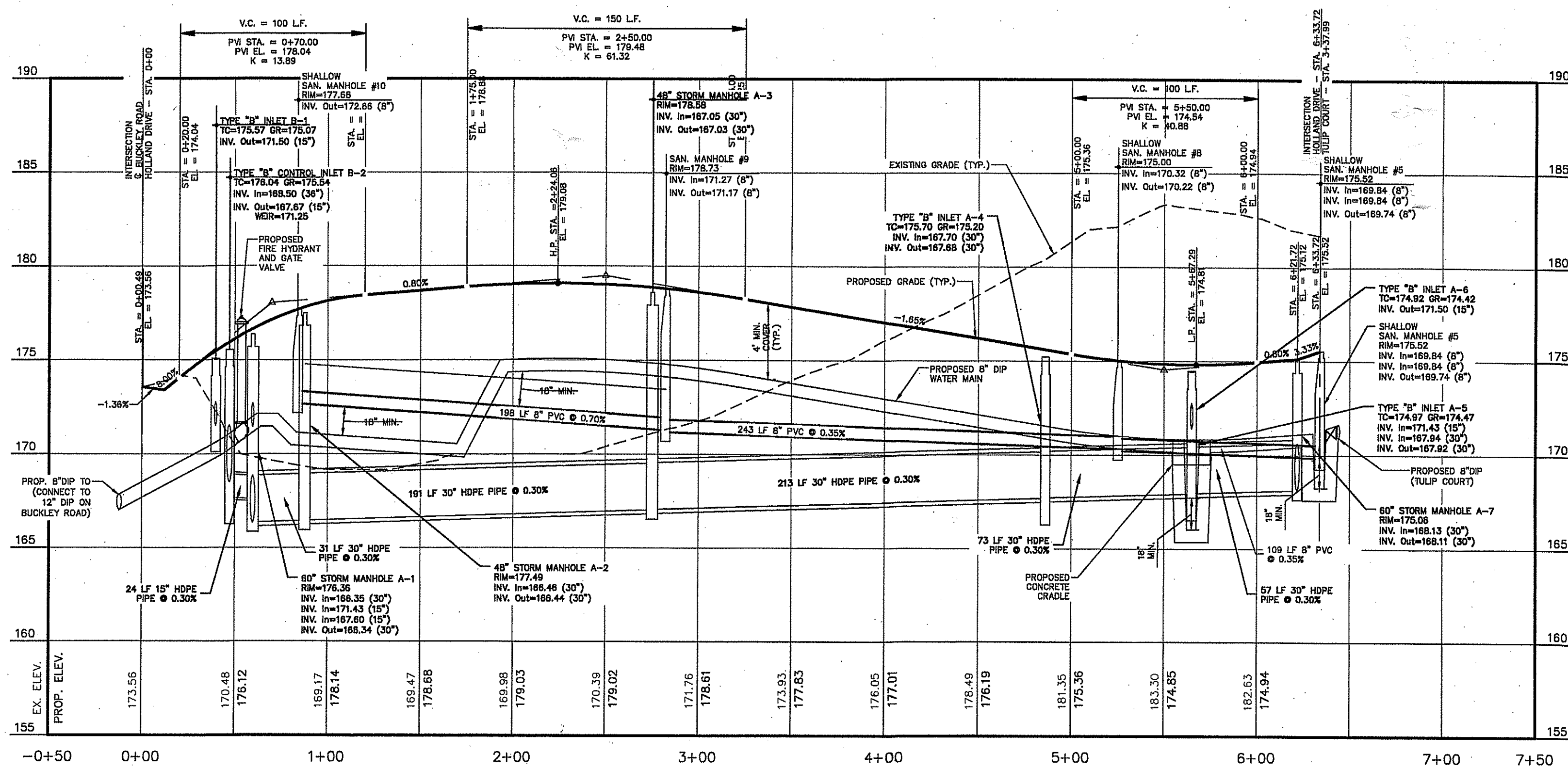
PROFILE OF TULIP COURT
 HORIZ.: 1" = 50'
 VERT.: 1" = 5'



PROFILE OF OFF SITE SANITARY
 HORIZ.: 1" = 50'
 VERT.: 1" = 5'



PROFILE OF WINDMILL LANE
 HORIZ.: 1" = 50'
 VERT.: 1" = 5'



PROFILE OF HOLLAND DRIVE
 HORIZ.: 1" = 50'
 VERT.: 1" = 5'

FINAL FOR SEWER DESIGN & WATER DES

K. HOVNANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION PROFILES

DW Smith
 Associates, LLC
 Greenengineering
 1450 STATE ST. WALL TOWNSHIP, NJ 07732
 WWW.DWSMITH.COM
 ENGINEERS ▽ PLANNERS ▽ SURVEYORS
 ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 246A28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 246E4247200

PROJECT No.:
 DATE: _____ MARC
 DESIGNED BY: C.A.F. SCALE: AS SHOWN
 DRAWN BY: P.T. REVIEWED BY: C.A.F.
 SHEET: **6 OF 16**

No.	DATE	BY	DESCRIPTION
8	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST
7	03/10/2020	C.A.F.	REV. WATER SYSTEM FOR CLEARANCE PER NJDEP BWISE REVIEW (RAMESH PATEL)
6	03/03/2020	C.A.F.	REVISED WATER SYSTEM PER NJDEP BWISE LETTER DATED 02/19/2020
5	11/18/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
4	09/28/2019	C.A.F.	ADDED FINAL SEWER NOTE
3	08/29/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/28/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMAA LTR. 7/10/19, FSCD LTR. 7/10/19, GORDEN'S CORNER CHECKLIST
1	06/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MTTZB ENGINEER'S LETTER DATED 6/17/19
No.	DATE	BY	DESCRIPTION
			REVISIONS

Plotted: 10/20/20 - 10:00 AM, By: plucker
 File: S:\PROJECTS\2020\20-314\CAD\Sheet\20-31400-SIP.dwg-PROFILES
 © 2019 DW SMITH ASSOCIATES, LLC - Greenengineering

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	COMMENTS
AG2	6	Acer rubrum 'October Glory' TM	October Glory Maple	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	
QA	7	Quercus alba	White Oak	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	
QP	17	Quercus palustris	Pin Oak	3'-3 1/2" Cal.	14' - 16" HT.	B&B	FULL SPECIMEN	
QP3	3	Quercus phellos	Willow Oak	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	

EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	COMMENTS
AC	34	Abies concolor	White Fir	--	6'-8'	B&B	FULL TO THE GROUND	
JE	18	Juniperus virginiana	Eastern Red Cedar	--	6'-8'	B&B	FULL TO THE GROUND	
PA	71	Picea abies	Norway Spruce	--	6'-8'	B&B	FULL TO THE GROUND	
PO	21	Picea omorika	Serbian Spruce	--	6'-8'	B&B	FULL TO THE GROUND	
PC	44	Picea pungens	Colorado Spruce	--	6'-8'	B&B	FULL TO THE GROUND	
PG	81	Picea pungens 'Glauea'	Colorado Blue Spruce	--	6'-8'	B&B	FULL TO THE GROUND	
TG	48	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	--	6'-8'	B&B	FULL TO THE GROUND	

STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	COMMENTS
AG	22	Acer rubrum 'October Glory' TM	October Glory Maple	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	
GS	22	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	
NB	20	Nyssa sylvatica 'Black Tupelo'	Sour Gum	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	
QP2	19	Quercus phellos	Willow Oak	2. 1/2"-3" Cal.	13'-15" HT.	B&B	FULL SPECIMEN	
PT	10	Prunus cerasifera 'Thundercloud'	Thundercloud Plum	2"-2 1/2" Cal.	10'-12" HT.	B&B	HEAVY SPECIMEN	

FLOWERING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	COMMENTS
PT	10	Prunus cerasifera 'Thundercloud'	Thundercloud Plum	2"-2 1/2" Cal.	10'-12" HT.	B&B	HEAVY SPECIMEN	

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	COMMENTS
IS	98	Ilex glabra 'Shamrock'	'Shamrock' Inkberry	2.5'-3'	5 Gal.	3" O.C.	
VR	27	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Viburnum	2'-3' HT	7 Gal.	4" O.C.	

PLANTING NOTES:

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES; DENSELY FOLIATED VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIALS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST TWO (2) YEARS FOR TREES AND A MINIMUM OF TWO (2) GROWING YEARS FOR SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICAL, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTORS SHALL PROTECT SHRUBS NOT PLANTED FROM DRYING. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS, SHALL BE IN ACCORDANCE ACCORDANCE WITH MOST RECENT VERSION OF ANSI Z60 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- ALL PLANTING AND SEEDED AREAS ARE TO RECEIVE A TOP DRESSING OF THREE (3) INCHES OF TOPSOIL, AND BE FINE AND EVEN BY THE LANDSCAPE CONTRACTOR PRIOR TO ANY SEEDING OR PLANTING ON SITE.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASONS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTING SEASONS ARE DEFINED AS 15 THROUGH MAY 15 AND SEPTEMBER 15 THROUGH NOVEMBER 15. PLANTING IS ACCEPTABLE DURING OTHER MONTHS IF WEATHER PERMITS, THE GROUND IS NOT FROZEN AND SUPPLEMENTAL WATERING IS PROVIDED IN THE SUMMER. FALL DROUGHT HAZARDS ARE NOTED IN INDIVIDUAL PLANT LISTS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SI
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE GROUND SURFACE OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN THE CENTER OF THE CROWN OF THE PLANT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS PRIOR TO PLANTING. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/5 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES MUST NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES SIX INCHES AND OVER IN CALIPER SHALL BE GUARANTEED UNLESS OTHERWISE NOTED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED.
- THE TRUNKS OF ALL TREES SHALL BE EQUIPPED WITH SUITABLE DEER PROTECTION GUARDS FOLLOWING INSTALLATION ACCORDING TO STANDARD PROCEDURES AND AS INDICATED.
- ALL PLANTING BEDS SHALL RECEIVE THREE INCHES OF MULCH AND BE TREATED WITH A PRE-EMERGENT HERBICIDE.
- TOPSOIL MIXTURE FOR BACKFILLING PLANTED AREAS AND DRESSING SEEDING AREAS SHALL CONSIST OF 3 PARTS BY VOLUME LOAMY TOPSOIL THOROUGHLY MIXED WITH ONE PART PEAT MOSS. APPLY 10-6-4 STARTER FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL SHADE TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET FROM UNDERGROUND UTILITIES AND FIVE (5) FEET FROM IMPERVIOUS SURFACES AND SIDEWALKS.
- LANDSCAPE CONTRACTOR IS TO PROVIDE TOWNSHIP TREE SPECIALIST WITH THE LOCATION OF THE NURSERY(S) OF WHICH ARE TO BE PURCHASED FROM OR LOCATION OF HOLDING FACILITY AND ARE TO BE TAGGED FOR INSPECTION BY THE SPECIALIST PRIOR TO DIGGING AND DELIVERY TO THE JOB SITE.
- ALL PLANT MATERIAL AND SIZES SHALL BE AS SPECIFIED ON THE LANDSCAPING PLAN. NO SUBSTITUTES SHALL BE MADE WITHOUT SPECIFIC PERMISSION OF THE MARLBORO TOWNSHIP ENGINEER.
- SOIL
 - TOPSOIL USED IN PLANTING PITS AND FOR BACKFILLING FOR TREES AND SHRUBS SHALL BE FERTILE AGRICULTURAL SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND SHALL HAVE A PH OF FIVE POINT FIVE (5.5) TO SIX POINT FIVE (6.5). IT SHALL HAVE UNIFORM COMPOSITION, BE FREE FROM LARGE STONES, WOOD AND OTHER FOREIGN MATTER AND SHALL NOT CONTAIN SUBSTANCE TOXIC TO PLANT GROWTH. PLANTING PIT AND BACKFILLING MATERIAL SHALL BE USED UNLESS IT MEETS THIS REQUIREMENT. POOR OR SANDY SOILS MAY BE USED IF SUPPLEMENTED BY A MINIMUM FIFTY PERCENT (50%) BY VOLUME OF PEAT MOSS.
 - SOIL AMENDMENTS - A BACKFILL SOIL AMENDMENT IS REQUIRED TO BE ADDED TO EACH TREE'S PLANTING PIT THROUGHOUT THE ENTIRE CONTRACT.
 - SOIL AMENDMENT SPECIFICATIONS:
 - GRANULAR FORM OR TABLETS
 - BIO-STIMULANTS
 - ORGANIC MATTER
 - HYDROGEL TYPE
 - ECTOMYCORRHIZAL FUNGI
 - ENDOMYCORRHIZAL FUNGI

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
LANDSCAPE PLAN

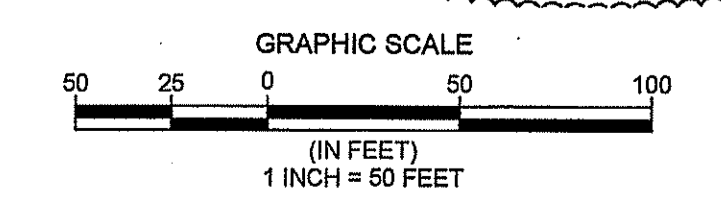
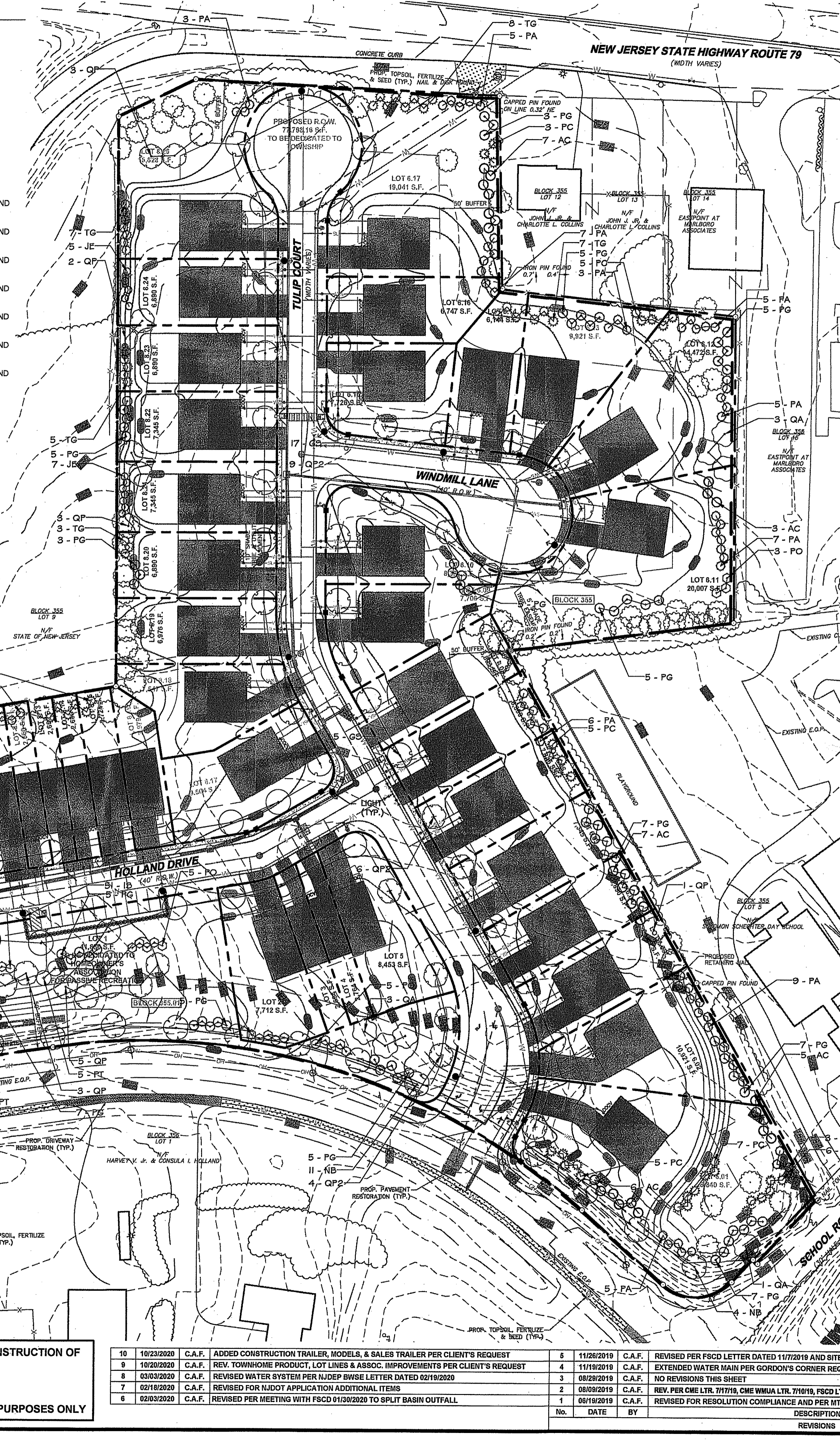
DW Smith
 Associates, LLC
Greengineering
 ENGINEERS ▼ PLANNERS ▼ SURVEYORS
 ENVIRONMENTAL SERVICES ▼ COMMUNITY ASSN. SERVICES ▼ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

1450 STATE ROAD 41
 WALL TOWNSHIP, NJ 07723
 WWW.DWSMITH.COM

PROJECT No.: 202401001
 DATE: MARCH 2024
 DESIGNED BY: JKND
 DRAWN BY: P.T.
 SCALE: 1" = 50'
 REVIEWED BY: C.A.F.
 SHEET: 7 OF 16

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 24GE04247200

© 2018 DW SMITH ASSOCIATES, LLC - Greenengineering.com
 ALL RIGHTS RESERVED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DW SMITH ASSOCIATES, LLC.

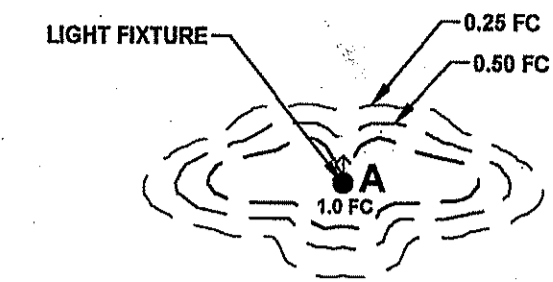


THIS DRAWING ONLY VALID FOR CONSTRUCTION OF
LANDSCAPE
 ALL OTHER DATA FOR INFORMATION PURPOSES ONLY

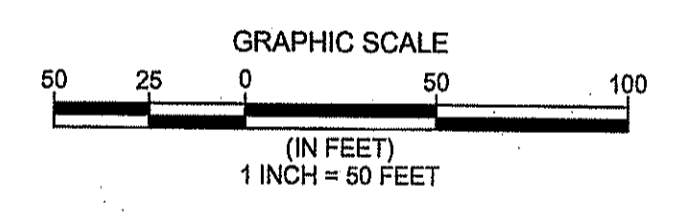
No.	DATE	BY	DESCRIPTION
10	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
9	10/20/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
8	03/03/2020	C.A.F.	REVISED WATER SYSTEM PER NJDEP BWISE LETTER DATED 02/19/2020
7	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
6	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
5	11/26/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
4	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
3	08/28/2019	C.A.F.	NO REVISIONS THIS SHEET
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMA LTR. 7/16/19, FSCD LTR. 7/16/19, GORDON'S CORNER CHECKLIST
1	06/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MITZ ENGINEER'S LETTER DATED 5/17/19

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
⬆	A	14	American Electric Lighting	247 10M R3 AY-BLK	247 SERIES 100W MH TYPE 3 ACRYLIC MED NONCUTOFF ON A 16' POLE TR30-12-DE-XXX-TXT-23-10	ONE 100-WATT CLEAR BT17 METAL HALIDE, HORIZONTAL POS.	1	247_10M_R3_AY.lvs	9000	0.8	126	14'

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ENTRANCE 1	◇	0.4 fc	3.5 fc	0.0 fc	N/A	N/A
ROAD 1	+	0.4 fc	3.5 fc	0.0 fc	N/A	N/A
ROAD 2	□	0.8 fc	3.2 fc	0.0 fc	N/A	N/A
ROAD 3	×	0.5 fc	3.2 fc	0.0 fc	N/A	N/A



LIGHTING TEMPLATE A
SCALE: 1"=50'



THIS DRAWING ONLY VALID FOR CONSTRUCTION OF
LIGHTING
ALL OTHER DATA FOR INFORMATION PURPOSES ONLY

K. HOVNIANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION LIGHTING PLAN

DW Smith Associates, LLC
Greengengineering
1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07753
(732) 363-5550 WWW.DWSMITH.COM
ENGINEERS ▽ PLANNERS ▽ SURVEYORS
ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. No. 24GE04247200

PROJECT No.: 20-314.00
DATE: MARCH 13, 2019
DESIGNED BY: JK/ND SCALE: 1" = 50'
DRAWN BY: P.T. REVIEWED BY: C.A.F.
SHEET: 8 OF 16

No.	DATE	BY	DESCRIPTION
11	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
10	10/20/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
9	03/03/2020	C.A.F.	REVISED WATER SYSTEM PER NJDEP BMSW LETTER DATED 02/19/2020
8	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
7	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
6	11/26/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
5	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
4	08/28/2019	C.A.F.	REVISED PER CME COMMENTS DATED 8/28/2019
3	08/28/2019	C.A.F.	REVISED PER CME REVIEW COMMENTS 8/23/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WHNUA LTR. 7/10/19, FSCD LTR. 7/10/19, GORDON'S CORNER CHECKLIST
1	08/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MITZB ENGINEER'S LETTER DATED 5/17/19

Plotted: 10/23/20 - 6:31 AM, Bk: plucker
File: S:\PROJECTS\2020\20-314\CAD\Sheet\A-C-99-3400-LP.dwg - LIGHTING PLAN
© 2018 DW SMITH ASSOCIATES, LLC - Greengengineering

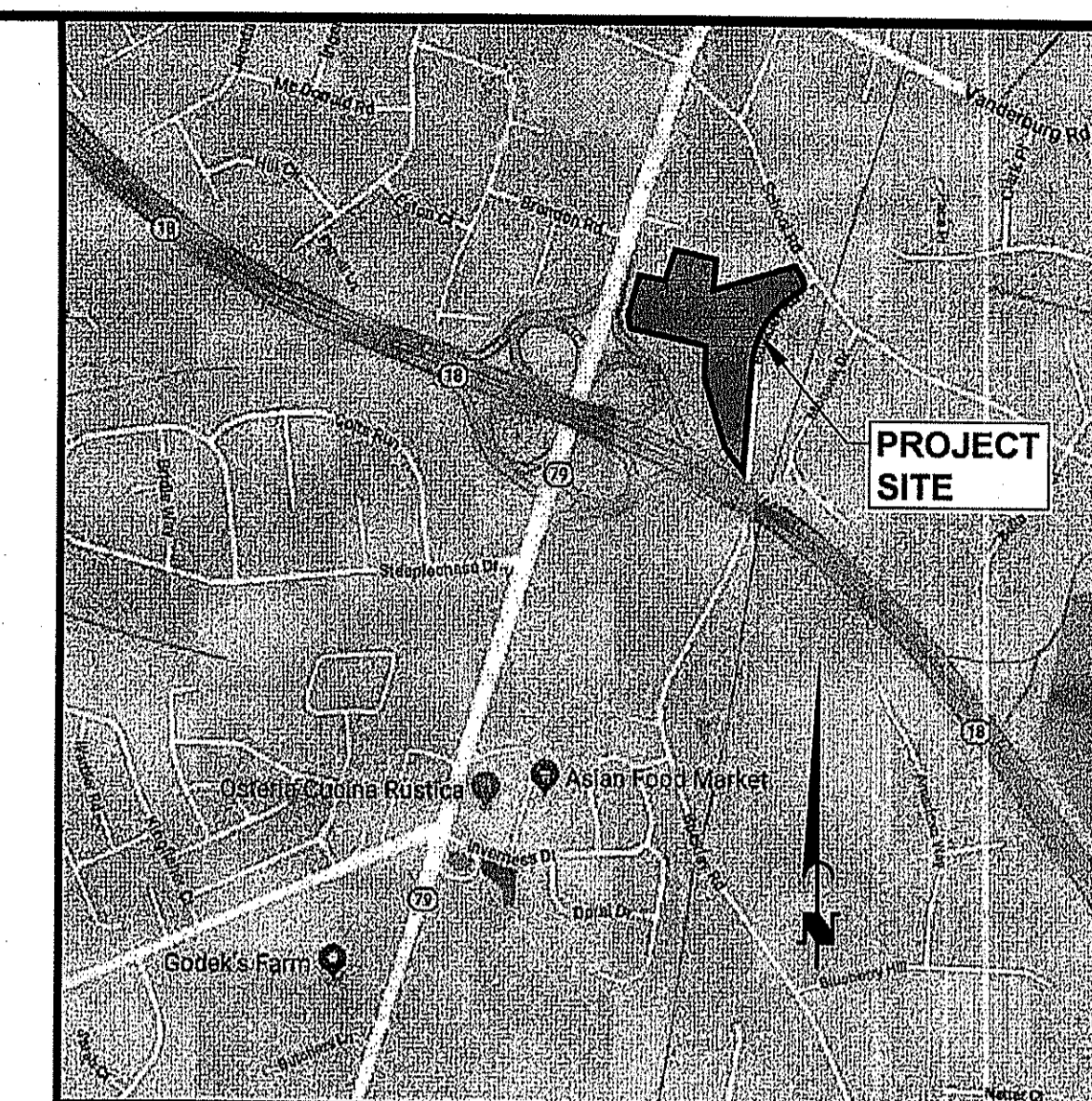
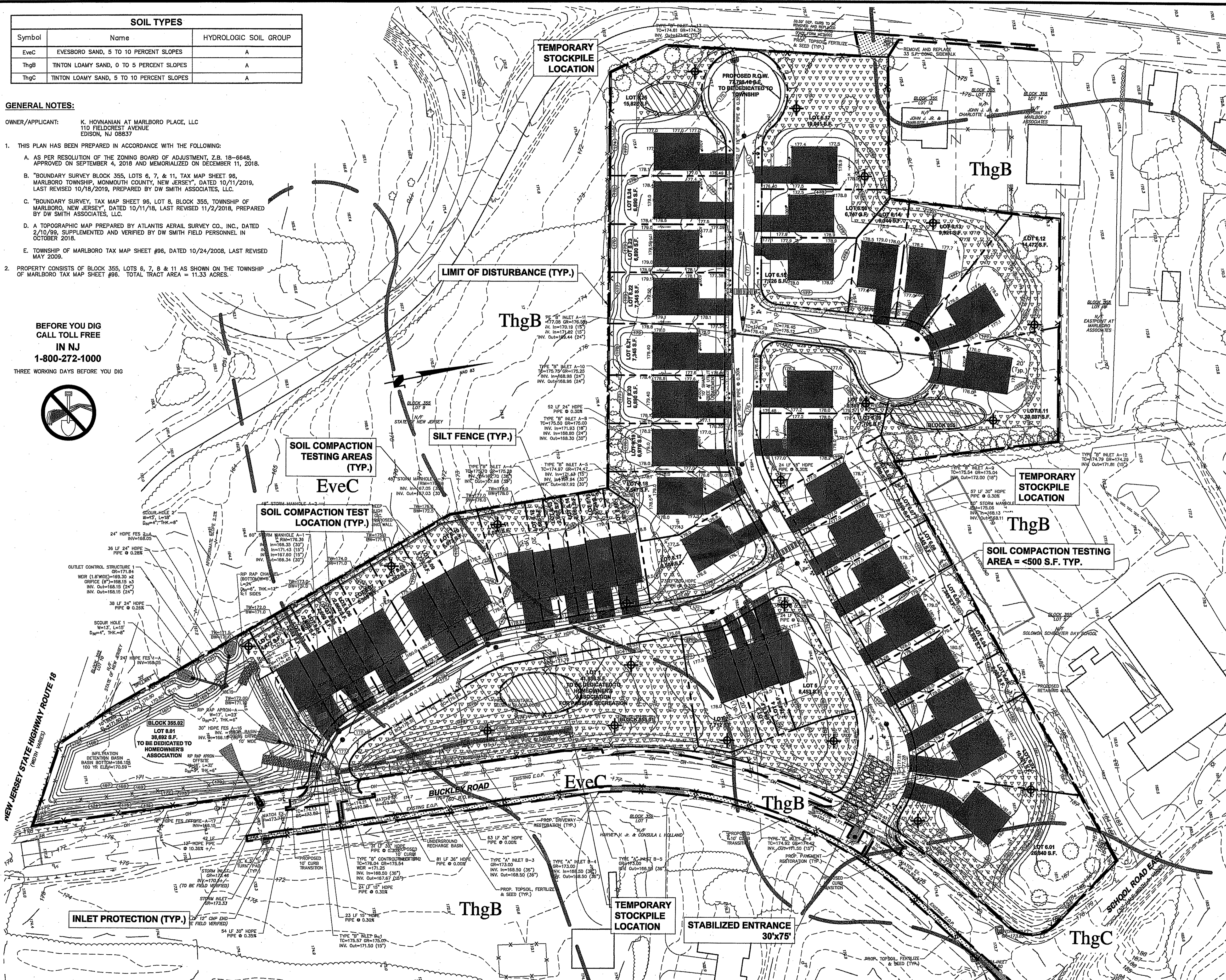
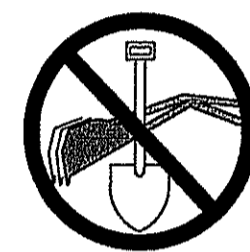
SOIL TYPES		
Symbol	Name	HYDROLOGIC SOIL GROUP
EveC	EVEBORO SAND, 5 TO 10 PERCENT SLOPES	A
ThgB	TINTON LOAMY SAND, 0 TO 5 PERCENT SLOPES	A
ThgC	TINTON LOAMY SAND, 5 TO 10 PERCENT SLOPES	A

GENERAL NOTES:

- OWNER/APPLICANT: K. HOVNANIAN AT MARLBORO PLACE, LLC
110 FIELDSIDE AVENUE
EDISON, NJ 08837
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING:
 - AS PER RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT, Z.B. 18-6648, APPROVED ON SEPTEMBER 4, 2018 AND MEMORIALIZED ON DECEMBER 11, 2018.
 - "BOUNDARY SURVEY BLOCK 355, LOTS 6, 7, & 11, TAX MAP SHEET 96, MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY", DATED 10/11/2019, LAST REVISED 10/16/2019, PREPARED BY DW SMITH ASSOCIATES, LLC.
 - "BOUNDARY SURVEY, TAX MAP SHEET 96, LOT 8, BLOCK 355, TOWNSHIP OF MARLBORO, NEW JERSEY", DATED 10/11/16, LAST REVISED 11/2/2016, PREPARED BY DW SMITH ASSOCIATES, LLC.
 - A TOPOGRAPHIC MAP PREPARED BY ATLANTIS AERIAL SURVEY CO., INC., DATED 2/10/09, SUPPLEMENTED AND VERIFIED BY DW SMITH FIELD PERSONNEL IN OCTOBER 2016.
 - TOWNSHIP OF MARLBORO TAX MAP SHEET #96, DATED 10/24/2008, LAST REVISED MAY 2009.
 - PROPERTY CONSISTS OF BLOCK 355, LOTS 6, 7, 8 & 11 AS SHOWN ON THE TOWNSHIP OF MARLBORO TAX MAP SHEET #96. TOTAL TRACT AREA = 11.33 ACRES.

**BEFORE YOU DIG
CALL TOLL FREE
IN NJ
1-800-272-1000**

THREE WORKING DAYS BEFORE YOU DIG

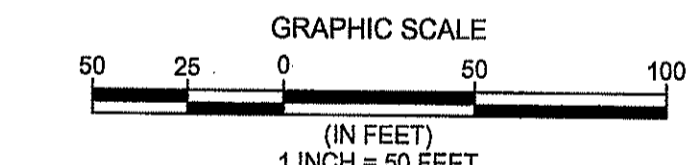


LEGEND

- SOIL BOUNDARY LINE
- LIMIT OF DISTURBANCE
- SILT FENCE
- SOIL COMPACTION TEST LOCATION (SEE SOIL DE-COMPACTION AND TESTING REQUIREMENTS)
- SOIL COMPACTION TESTING AREAS
- TEMPORARY STOCKPILE
- INLET PROTECTION DEVICE
- STABILIZED CONSTRUCTION ENTRANCE

TOTAL LIMIT OF DISTURBANCE = 11.54 ACRES (TOTAL)

AREA OF DISTURBANCE FOR SOIL COMPACTION TESTING CALCULATION = 10.0 ACRES (TOTAL)



**THIS DRAWING ONLY VALID FOR CONSTRUCTION OF
SOIL EROSION
AND SEDIMENT CONTROL
ALL OTHER DATA FOR INFORMATION PURPOSES ONLY**

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
**AMENDED PRELIMINARY & FINAL
MAJOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL PLAN**

DW Smith
Associates, LLC
1450 STATE ROUTE 34
WALL TOWNSHIP, NJ 07753
(732)363-5850
WWW.DWSMITH.COM

ENGINEERS ▾ PLANNERS ▾ SURVEYORS
ENVIRONMENTAL SERVICES ▾ COMMUNITY ASSN. SERVICES ▾ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. No. 24GE04247200

PROJECT No.: 20-314-00
DATE: MARCH 13, 2019
DESIGNED BY: SCALE: 1" = 50'
DRAWN BY: REVIEWED BY:
P.T. C.A.F.
SHEET: 10 OF 16

No.	DATE	BY	DESCRIPTION
11	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
10	10/20/2020	C.A.F.	REV. TO TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
9	03/03/2020	C.A.F.	REVISED WATER SYSTEM PER NJ DEP BWSL LETTER DATED 02/19/2020
8	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
7	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLT BASIN OUTFALL
6	11/28/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/27/2019 AND SITE VISIT ON 11/22/2019
5	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
4	09/26/2019	C.A.F.	REVISED PER FSCD LETTER DATED 9/3/19
3	08/20/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/28/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME VMA LTR. 7/10/19, FSCD LTR. 7/10/19, GORDON'S CORNER CHECKLIST
1	08/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MIZB ENGINEER'S LETTER DATED 6/17/19

Plotted: 10/23/2020 - 8:31 AM By: pbuser
File: S:\Projects\2020\20-314\20-314-00-SES.dwg - SOIL EROSION & SEDIMENT CONTROL PLAN
© 2018 DW SMITH ASSOCIATES, LLC - Greenengineering®

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

A. SOIL COMPACTION TESTING REQUIREMENTS

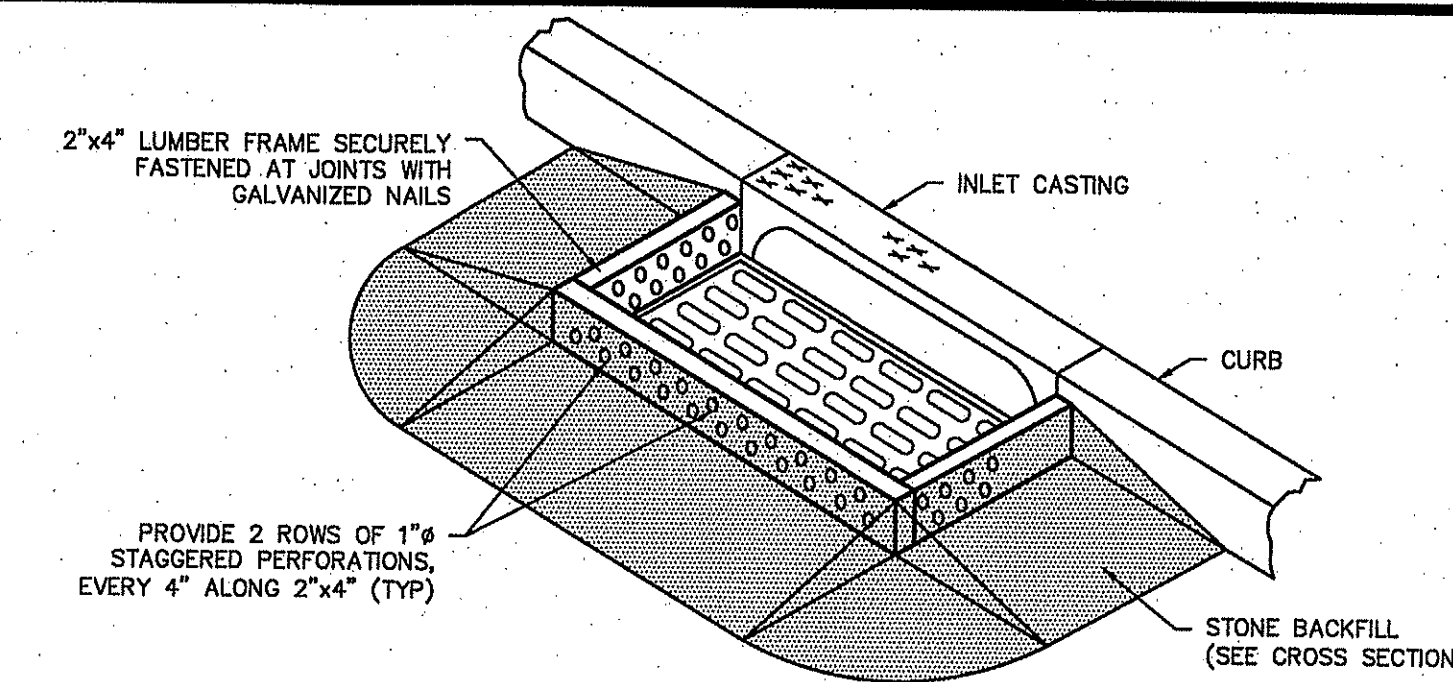
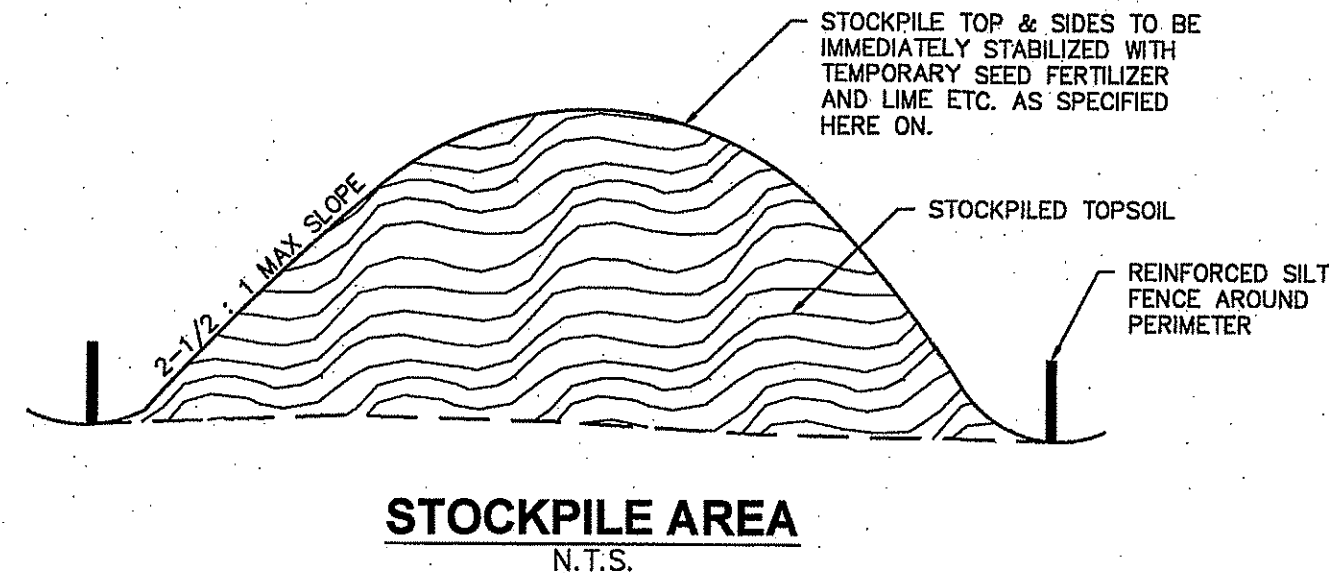
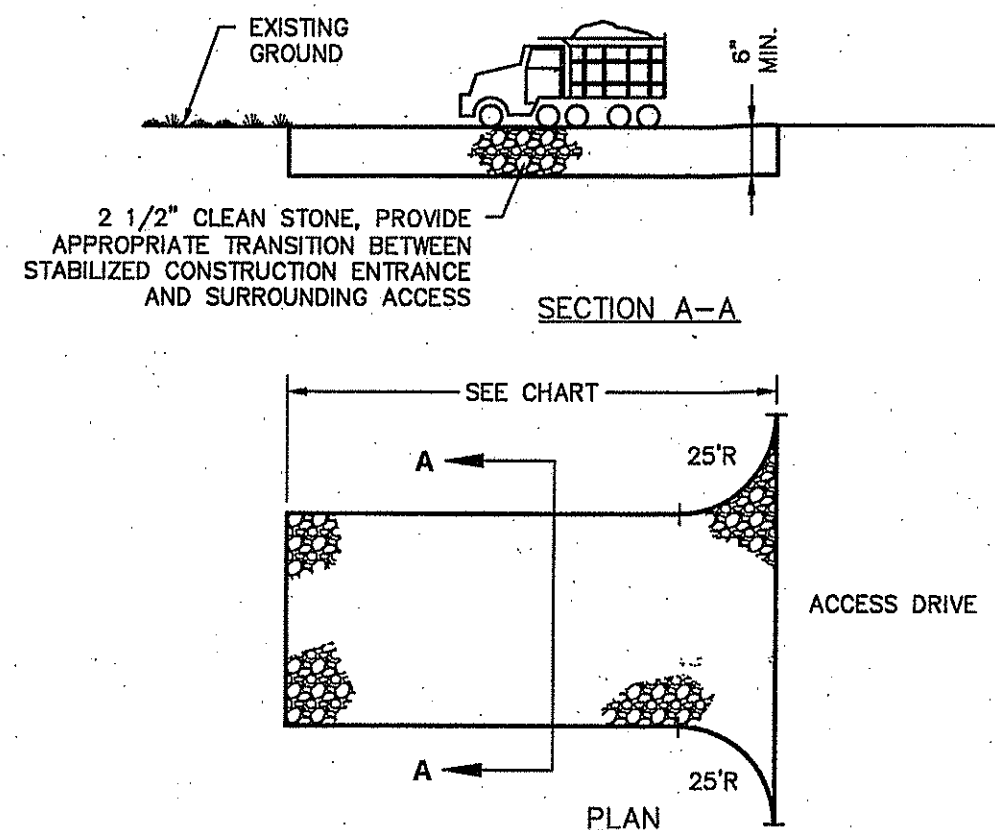
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

B. COMPACTION TESTING METHODS

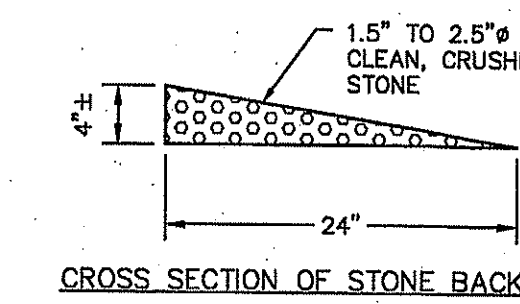
- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARD FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

C. PROCEDURES FOR SOIL COMPACTION MITIGATION

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



- NOTES:**
- INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
 - INSPECTION AND MAINTENANCE SHALL BE MADE FREQUENTLY AND PROMPTLY.
 - UPON COMPLETION OF THE PROJECT, THE INLET FILTRATION DEVICE SHALL BE REMOVED AND THE SURROUNDING AREA CLEANED, PROVIDED THAT THE UPSTREAM AREAS ARE COMPLETELY STABILIZED.
 - FOR NON-CURB TYPE INLETS, PROVIDE COMPLETE ENCASEMENT WITH 2"x4" PERFORATED FRAME AND STONE BACKFILL.



INLET FILTRATION DEVICE

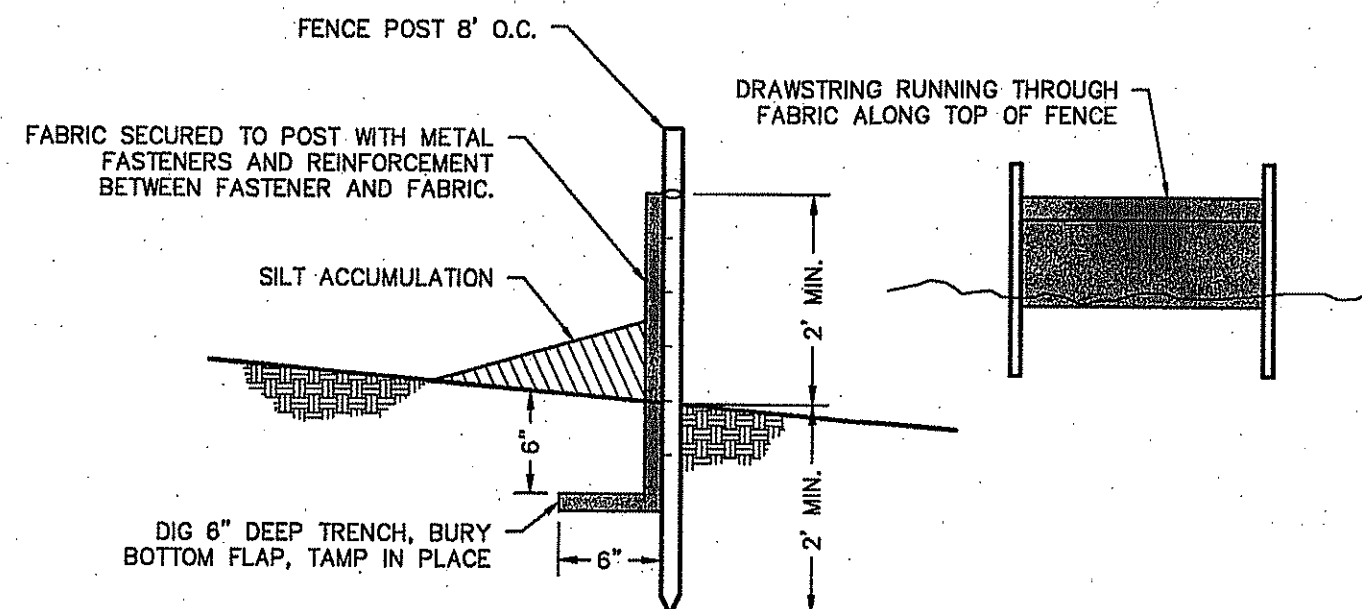
MAINTENANCE:

- STABILIZED CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS OR ACCESS DRIVES SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

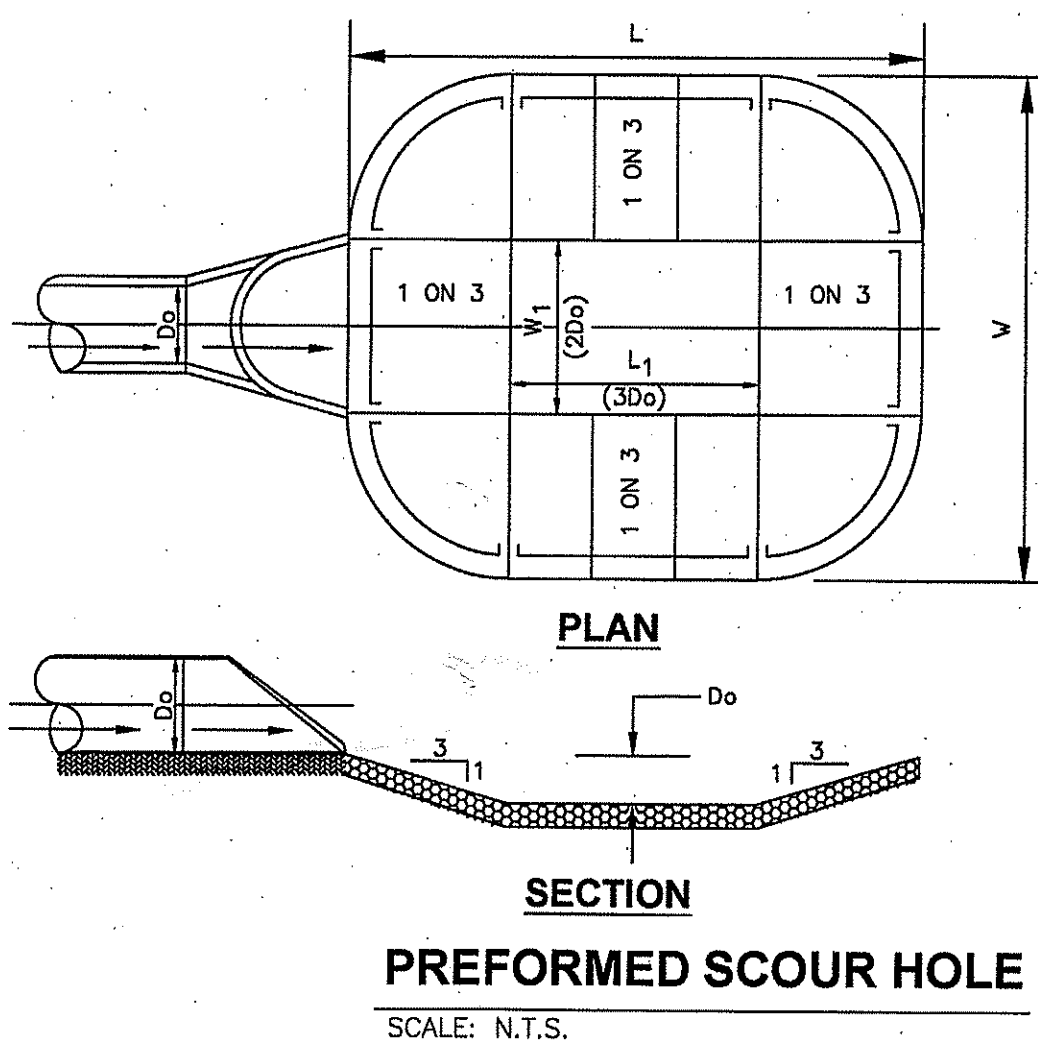
PERCENT SLOPE OF ROADWAY	LENGTH OF ROADWAY	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FT.	100 FT.
2% TO 5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

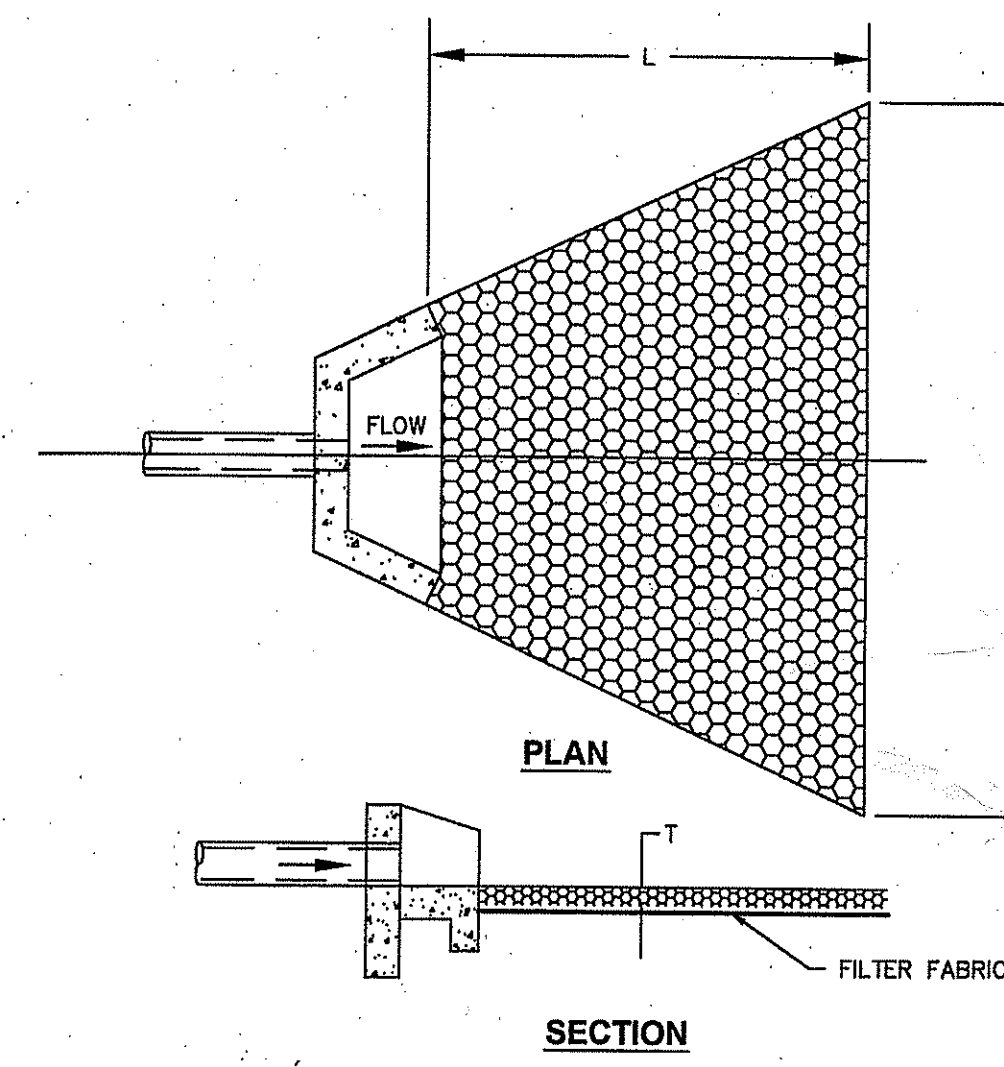


SILT FENCE DETAIL



PREFORMED SCOUR HOLE

SCALE: N.T.S.



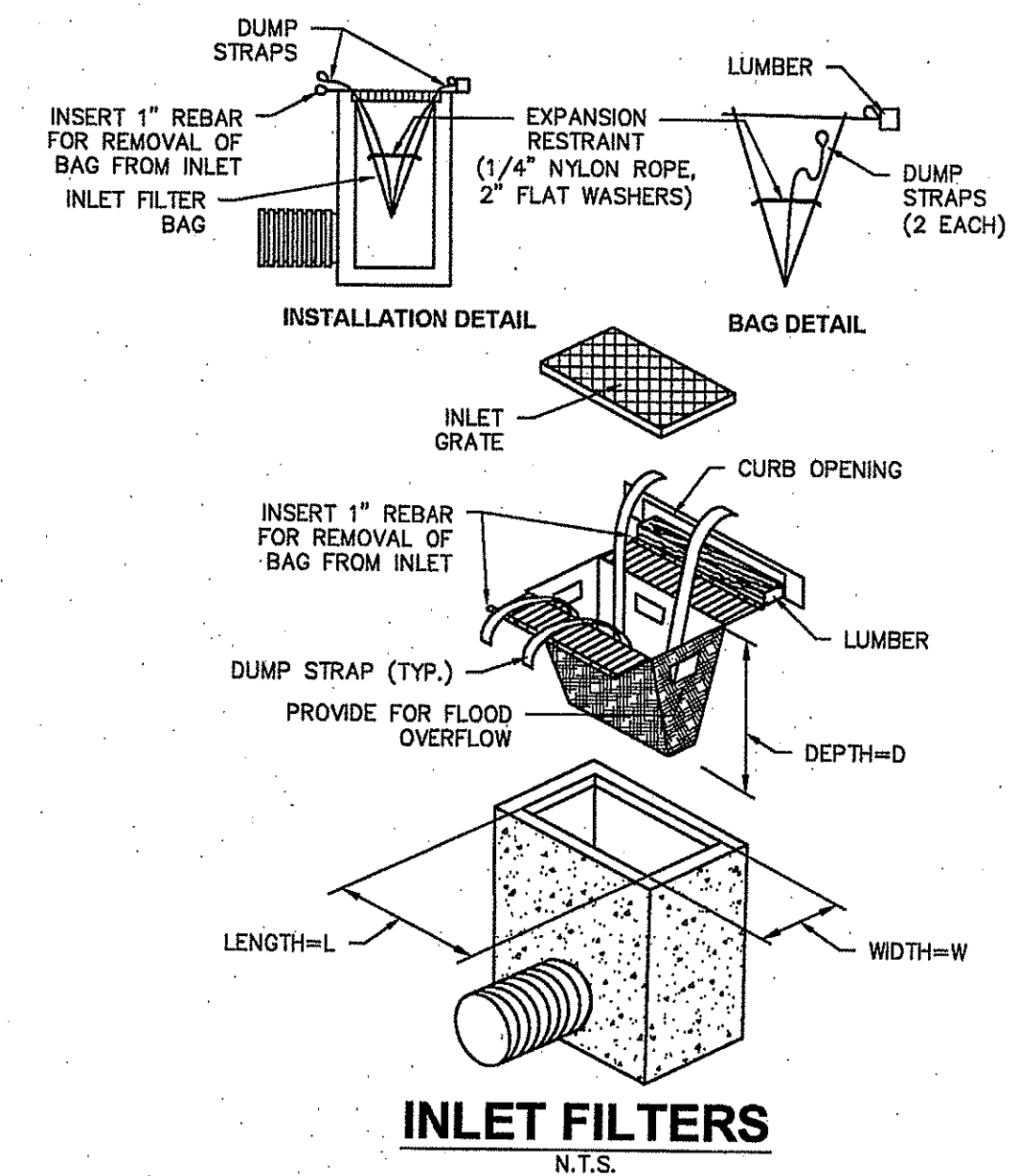
RIP RAP APRON DETAIL

SCALE: N.T.S.

SCHEDULE OF OUTLET PROTECTION

TYPE	Qcfs	V fps	Do PIPE SIZE	W STONE WIDTH	L STONE LENGTH	W1 BOTTOM STONE WIDTH	L1 BOTTOM STONE LENGTH	DEPTH	MEDIAN STONE SIZE d50	STONE THICKNESS*	TW
SCOUR HOLE 1	3.41	3.9	24"	13.0'	15.0'	4	6	1.5'	4"	8"	.40
SCOUR HOLE 2	3.41	3.9	24"	13.0'	15.0'	4	6	1.5'	4"	8"	.40
RIP RAP APRON A	28.90	6.4	30"	17.0'	23.0'	-	-	-	3"	6"	2.13
RIP RAP APRON OFFSITE	10.50	18.50	12"	16.0'	32.0'	-	-	-	3"	6"	3.04

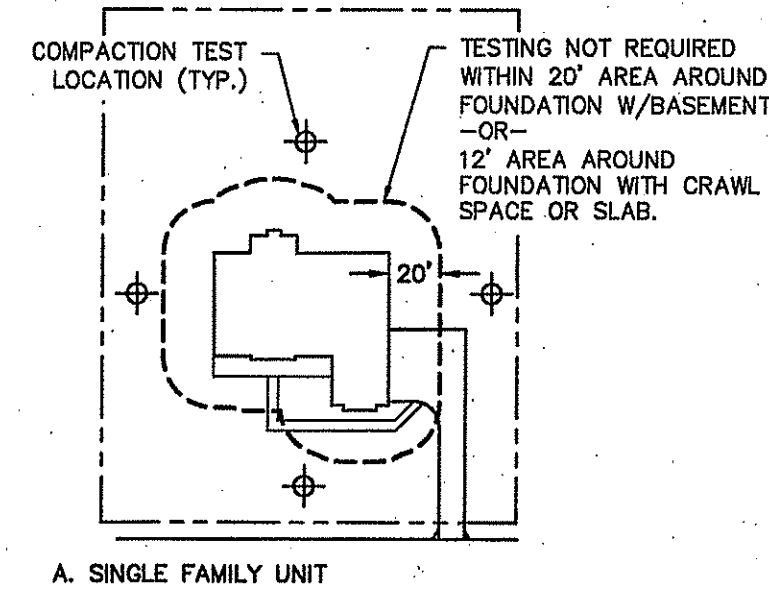
NOTE: 25 YR. BASIN DISCHARGE IS 6.82 CFS. SCOUR HOLES 1 & 2 WILL EACH RECEIVE HALF OF THE DISCHARGE, OR 3.41 CFS.



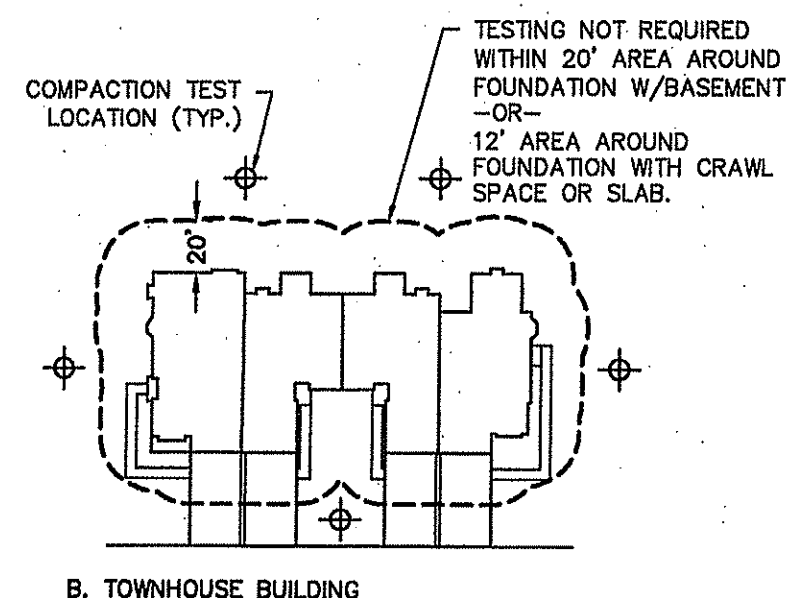
INLET FILTERS

N.T.S.

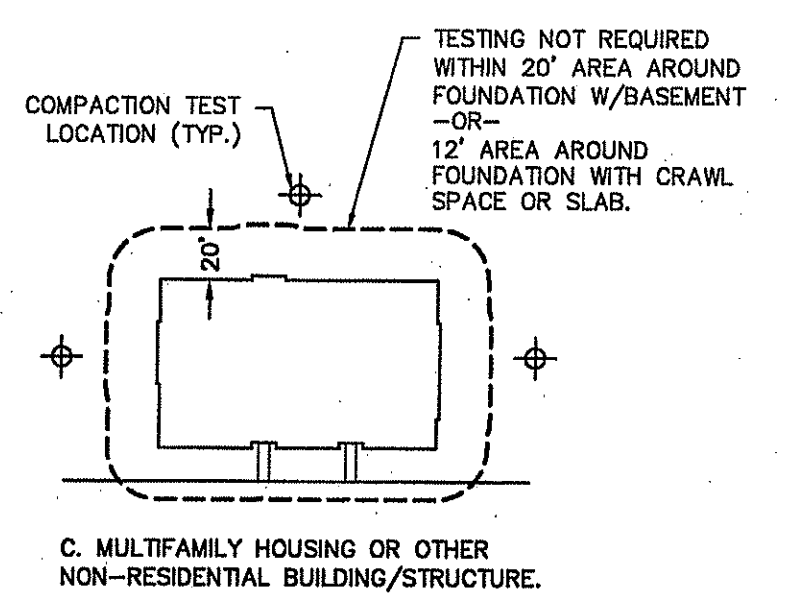
THIS DRAWING ONLY VALID FOR CONSTRUCTION OF SOIL EROSION AND SEDIMENT CONTROL ALL OTHER DATA FOR INFORMATION PURPOSES ONLY



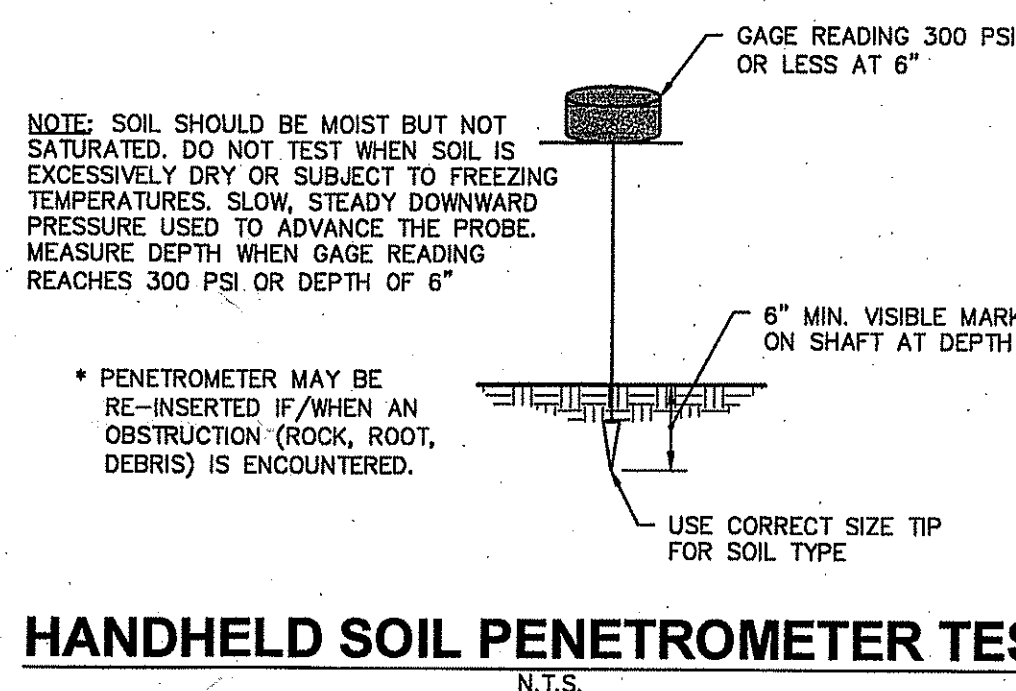
A. SINGLE FAMILY UNIT



B. TOWNHOUSE BUILDING

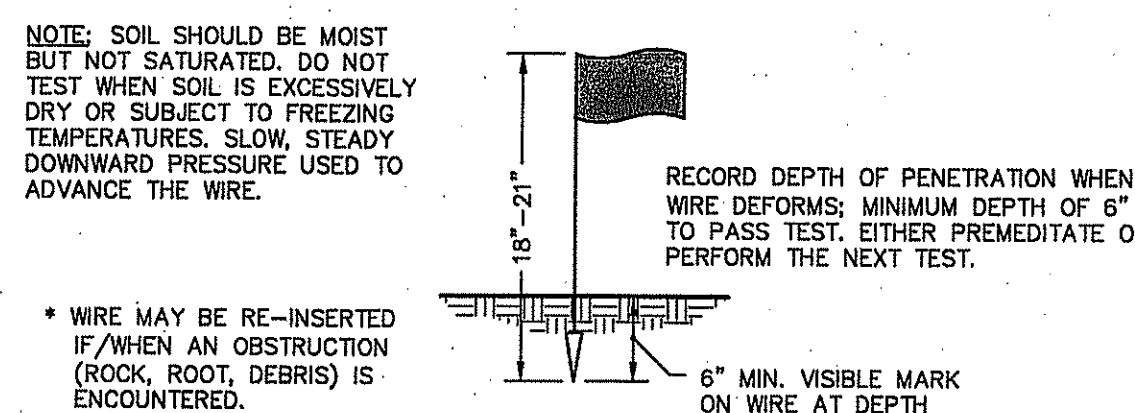


C. MULTIFAMILY HOUSING OR OTHER NON-RESIDENTIAL BUILDING/STRUCTURE



HANDHELD SOIL PENETROMETER TEST

N.T.S.



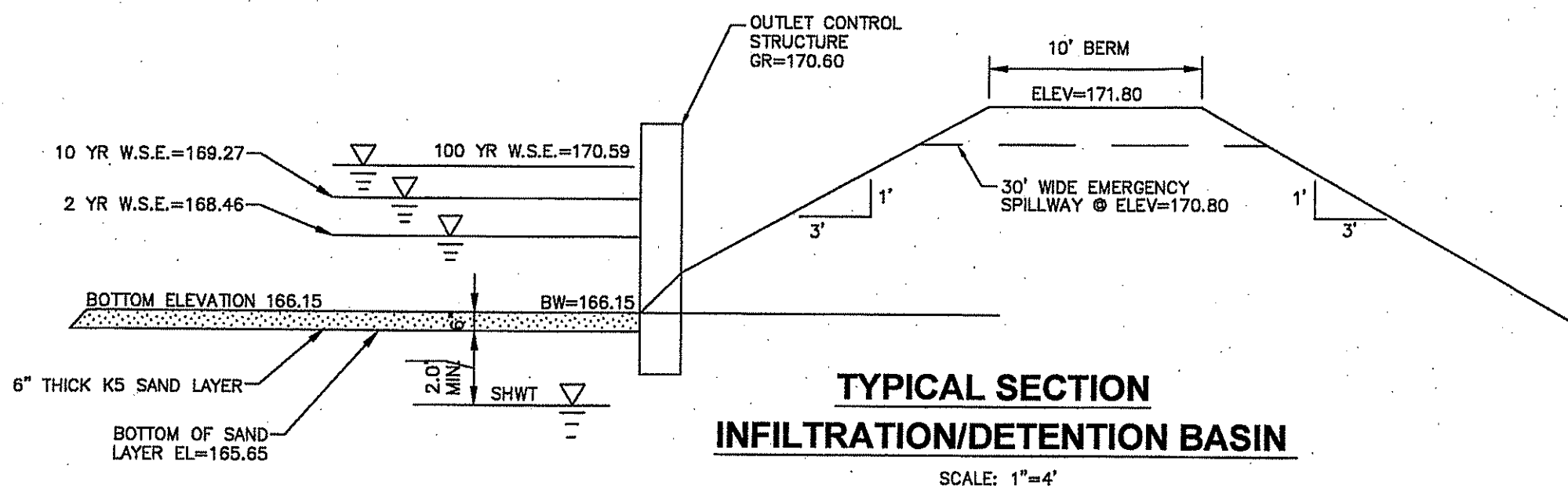
PROBING WIRE TEST 15.5 GA. STEEL WIRE (SURVEY FLAG)

N.T.S.

NOTE: SOIL COMPACTION TESTING LOCATIONS IDENTIFIED ARE RECOMMENDED LOCATIONS FOR GRADED/DISTURBED AREAS WITHIN THE VICINITY OF BUILDINGS AND STRUCTURES OR ON INDIVIDUAL LOTS. FOR GRADED/DISTURBED AREAS WITHIN OPEN OR COMMON SPACES, SOIL COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE FREQUENCY LISTED IN THE LEGEND (THIS SHEET).

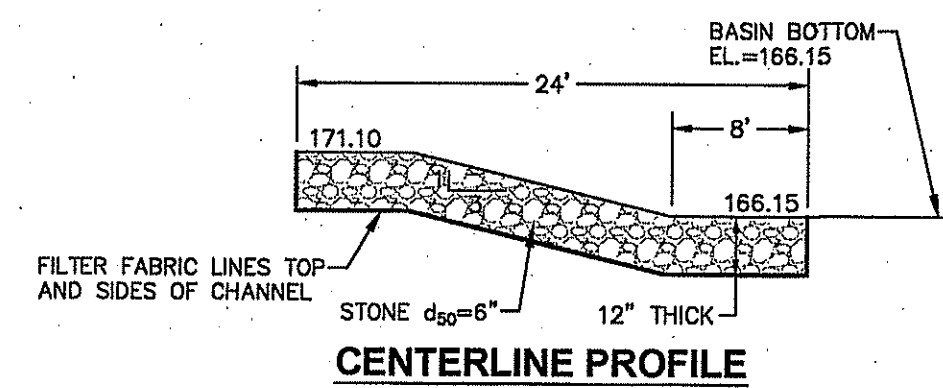
TYPICAL SOIL COMPACTION TESTING LOCATIONS

N.T.S.



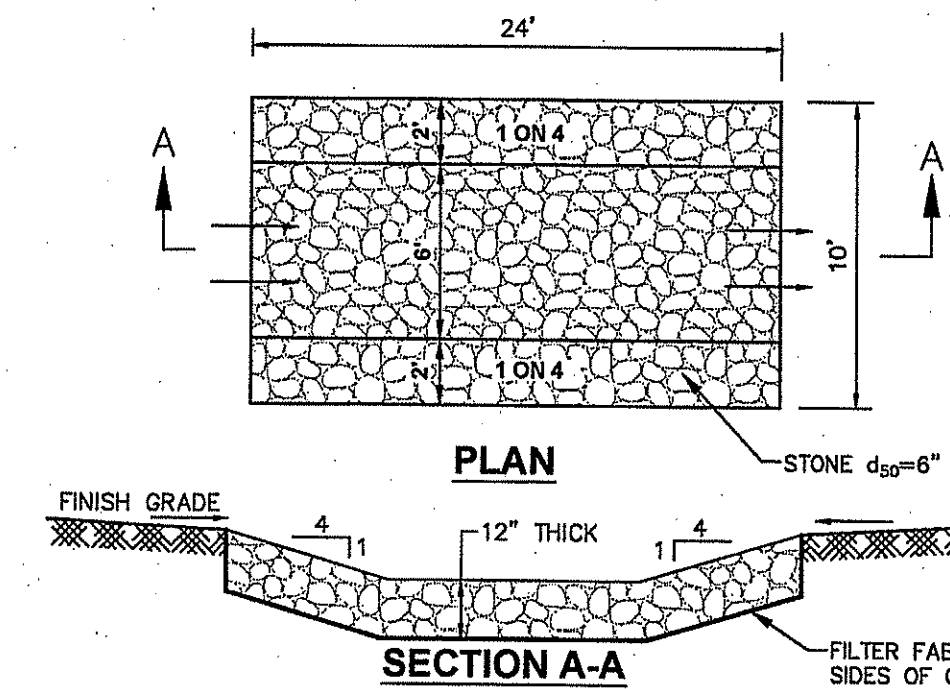
TYPICAL SECTION INFILTRATION/DETENTION BASIN

SCALE: 1"=4'



RIP RAP CHANNEL DETAIL

N.T.S.



RIP RAP CHANNEL DETAIL

N.T.S.

No.	DATE	BY	DESCRIPTION
7	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST
8	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
9	11/28/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
4	09/28/2019	C.A.F.	REVISED PER FSCD LETTER DATED 9/3/19
3	08/29/2019	C.A.F.	NO REVISION THIS SHEET
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMA LTR. 7/18/19, FSCD LTR. 7/18/19, GORDEN'S CORNER CHECKLIST
1	06/18/2019	C.A.F.	NO REVISION THIS SHEET

K. HOVNANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
 SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

DW Smith
 Associates, LLC
 1450 STATE ROUTE 34
 WALL TOWNSHIP, NJ 07753
 (732)363-6660
 WWW.DWSMITH.COM

ENGINEERS ▾ PLANNERS ▾ SURVEYORS
 ENVIRONMENTAL SERVICES ▾ COMMUNITY ASSN. SERVICES ▾ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

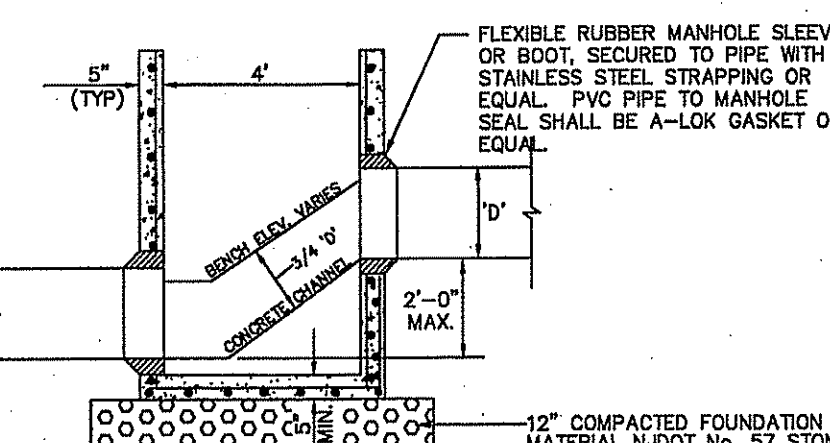
PROJECT No.: 20-314.00
 DATE: MARCH 13, 2019
 DESIGNED BY: AS SHOWN
 C.A.F.
 DRAWN BY: P.J.
 REVIEWED BY: C.A.F.
 SHEET: 12 OF 16

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 24GE04247200

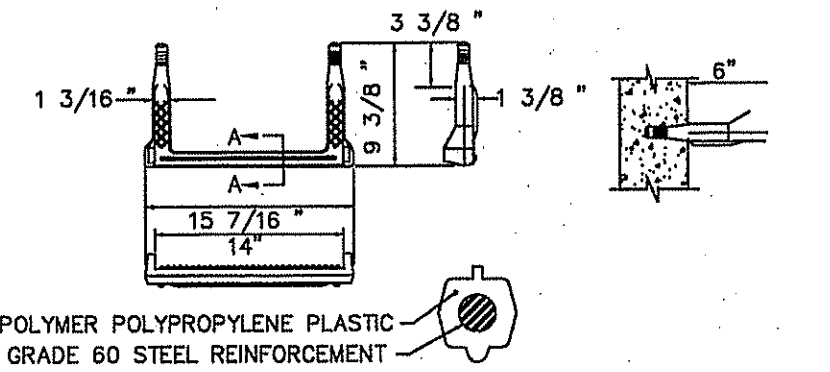
Plotted: 10/20/2020 10:01 AM, By: pfeigin
 File: C:\Projects\2020\20-314\00\Notes\20-314-00-SES.dwg-SES NOTES AND DETAILS
 © 2018 DW SMITH ASSOCIATES, LLC - Greenengineering®

DIM.	PIPE DIAMETER, IN.					
	10/12	15	18	24	30	36
A	42	48	54	64	88	88
B	14.5	24.5	29	37	36	43
C	33	45.5	55	65	63.5	66.5
D	6	6	6	6	6	6

ALUMINUM LADDER RUNG DETAIL
N.T.S.

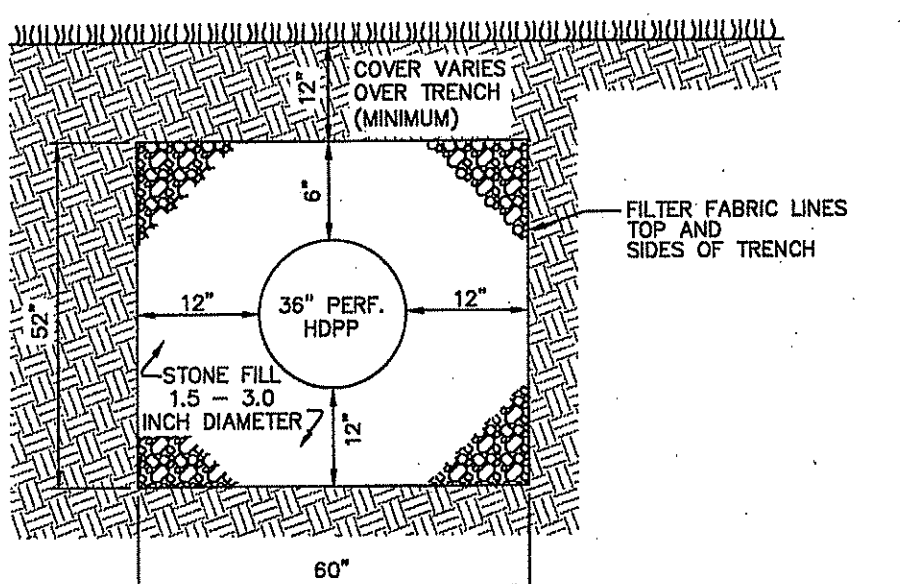


CHUTE MANHOLE
N.T.S.

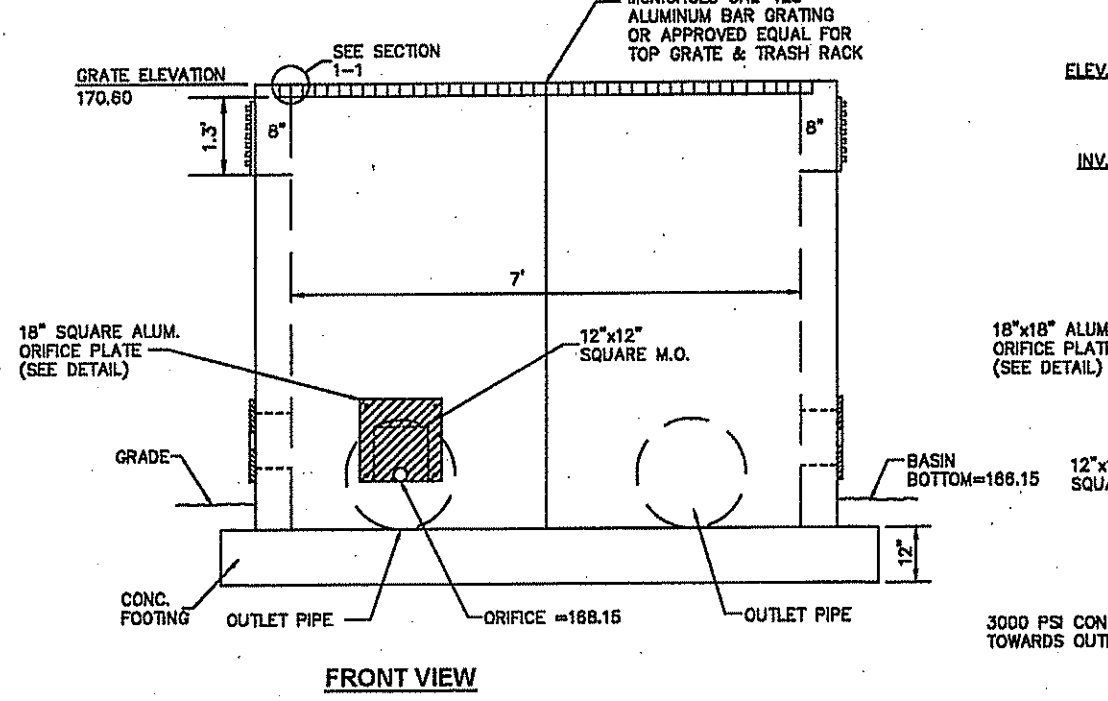
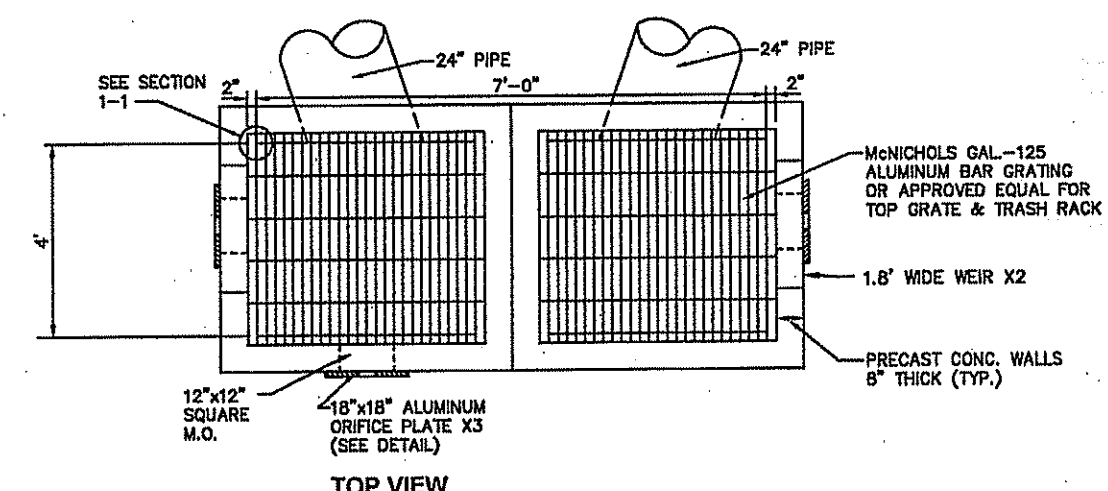


COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNG
N.T.S.

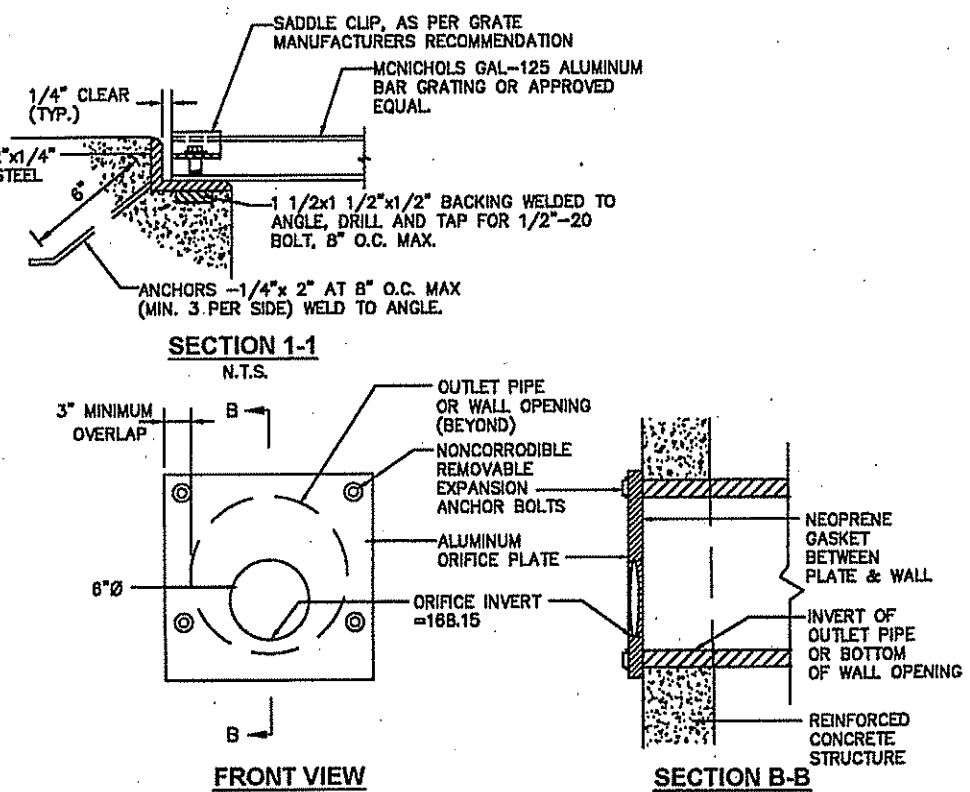
H.D.P.E. FLARED END SECTION
N.T.S.



SUBSURFACE RECHARGE TRENCH - SECTION
SCALE: N.T.S.

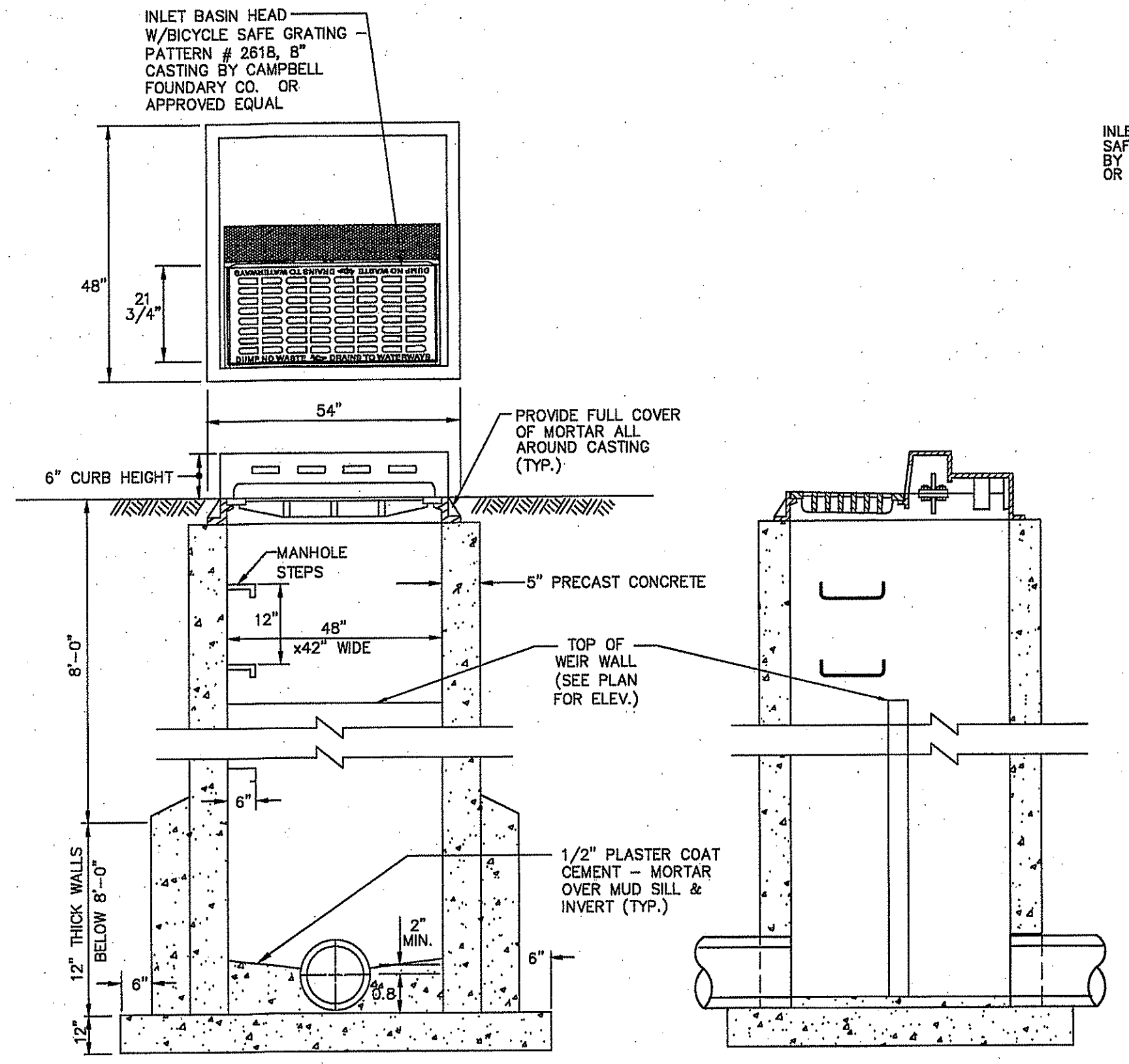


OUTLET CONTROL STRUCTURE DETAIL (SPECIAL STRUCTURE)
N.T.S.

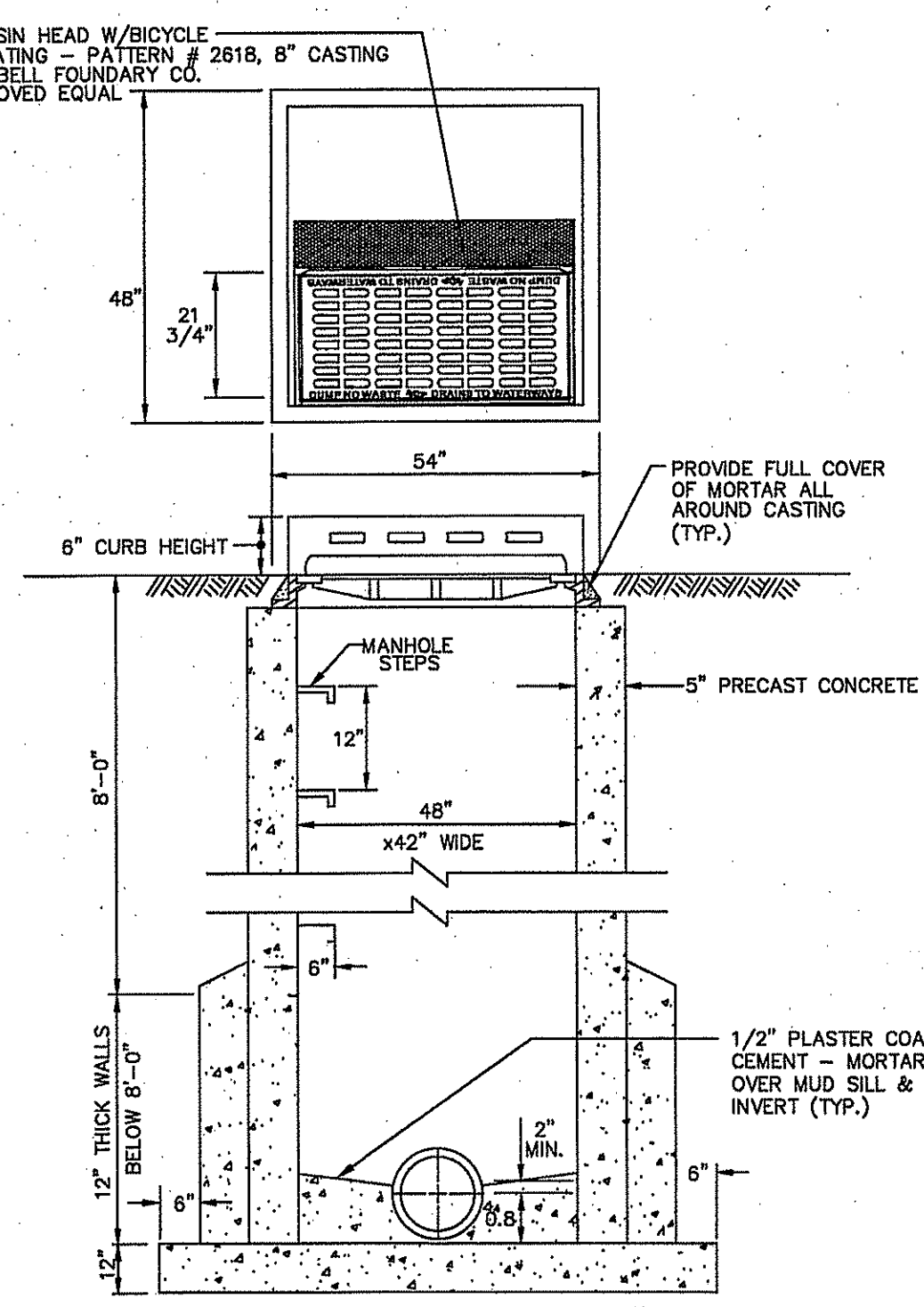


ORIFICE PLATE DETAIL
N.T.S.

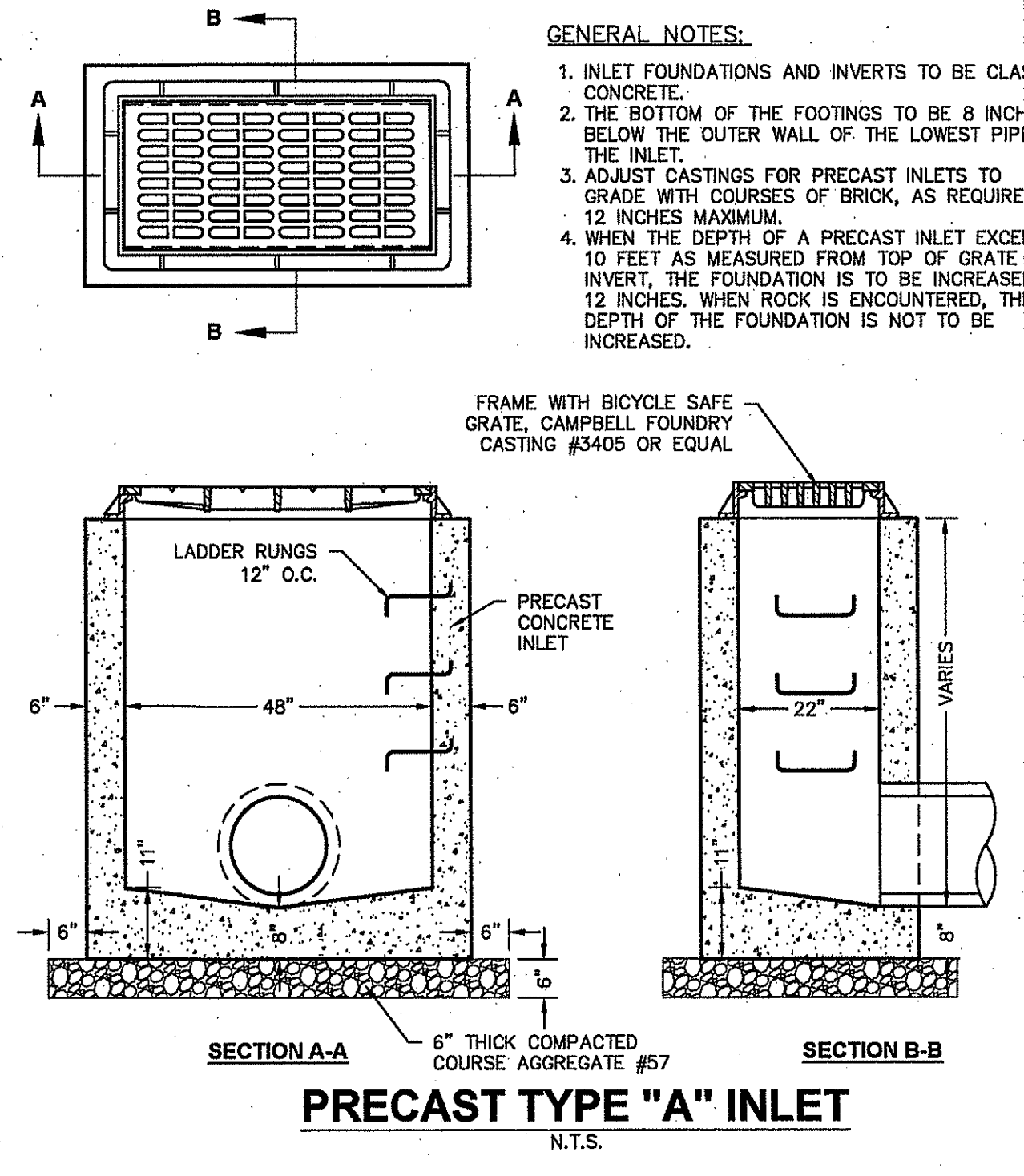
OUTLET CONTROL STRUCTURE DETAIL
N.T.S.



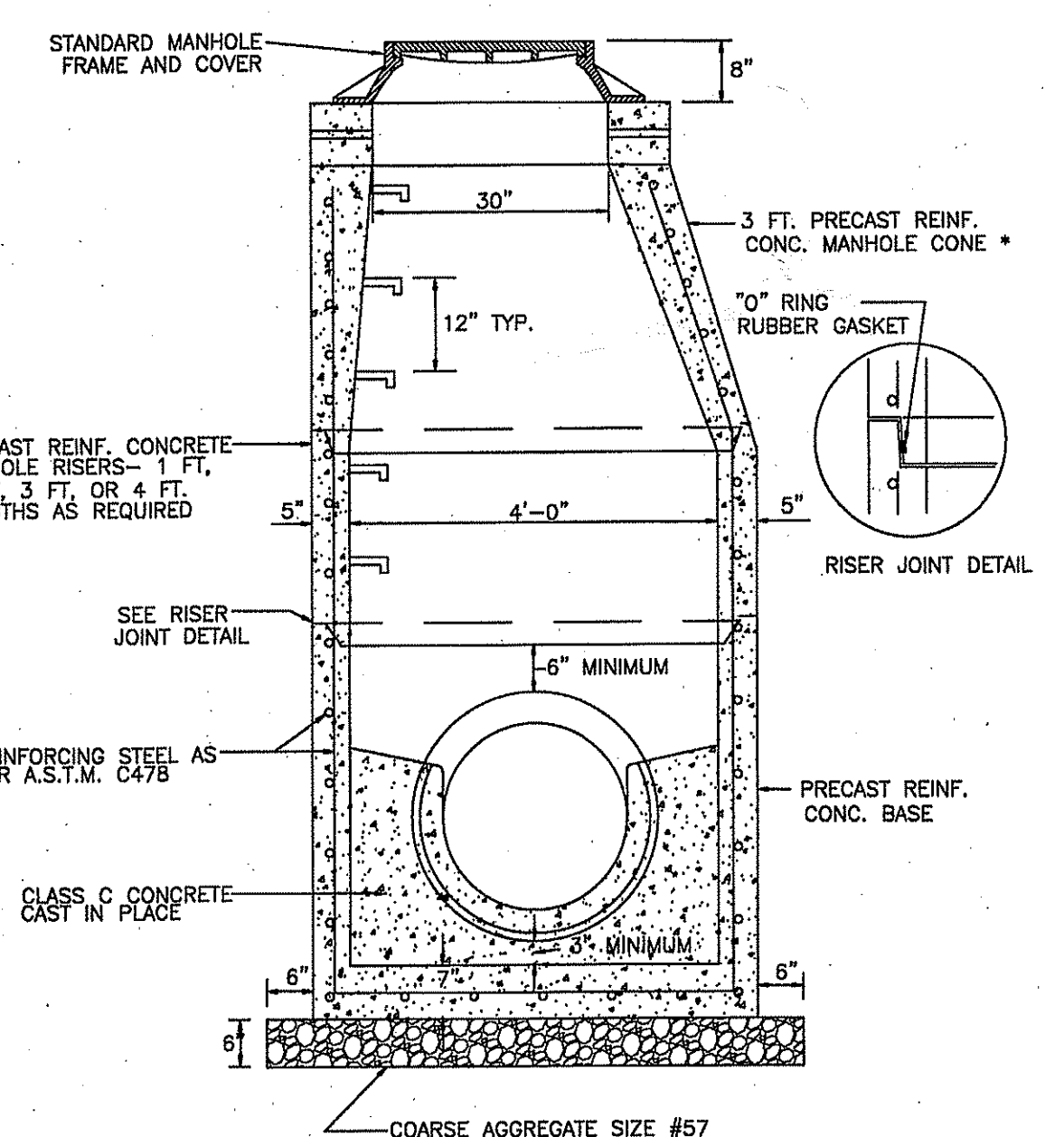
TYPE "B" INLET WITH WEIR
N.T.S.



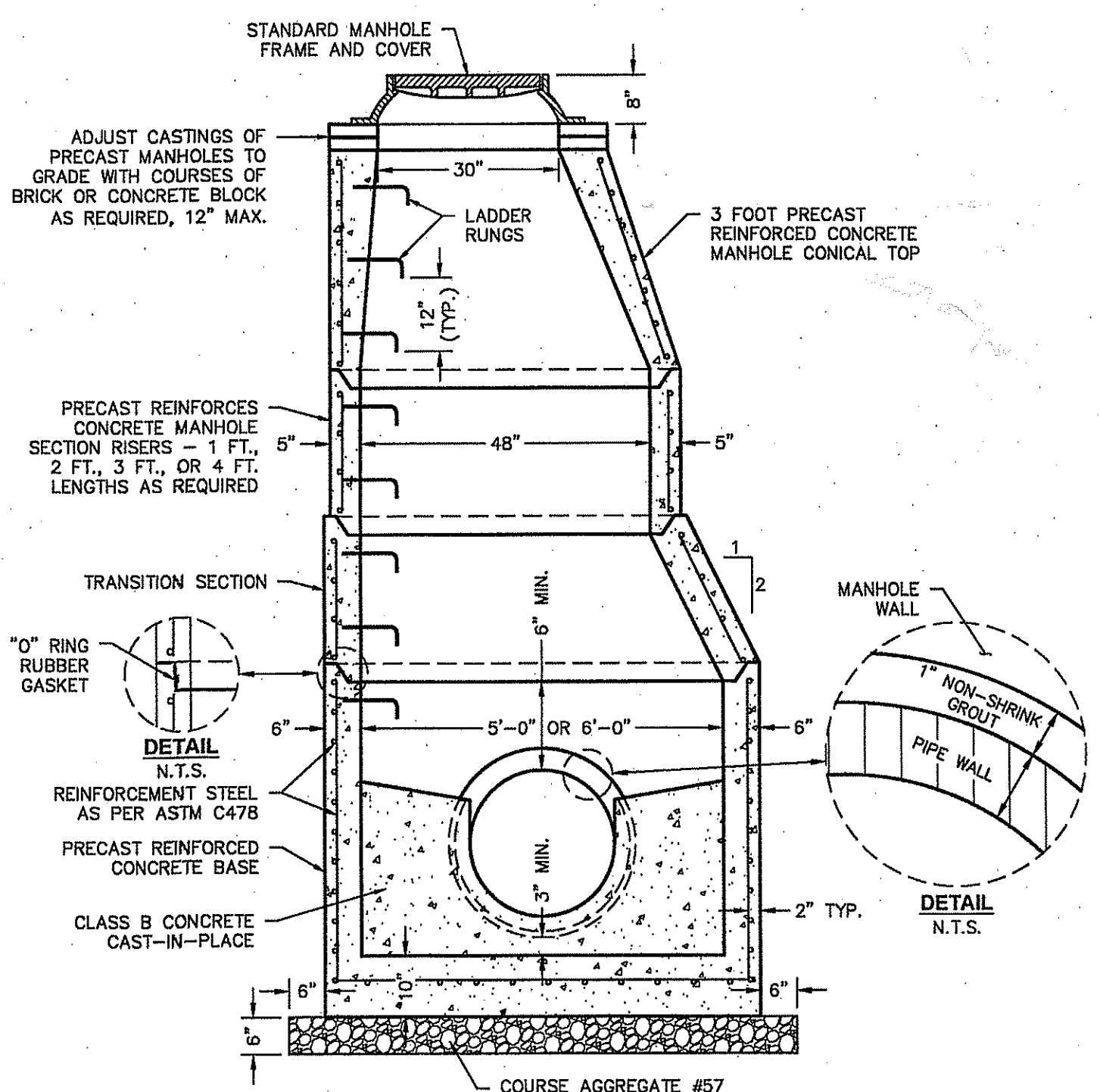
TYPE "B" INLET (ROADWAYS)
N.T.S.



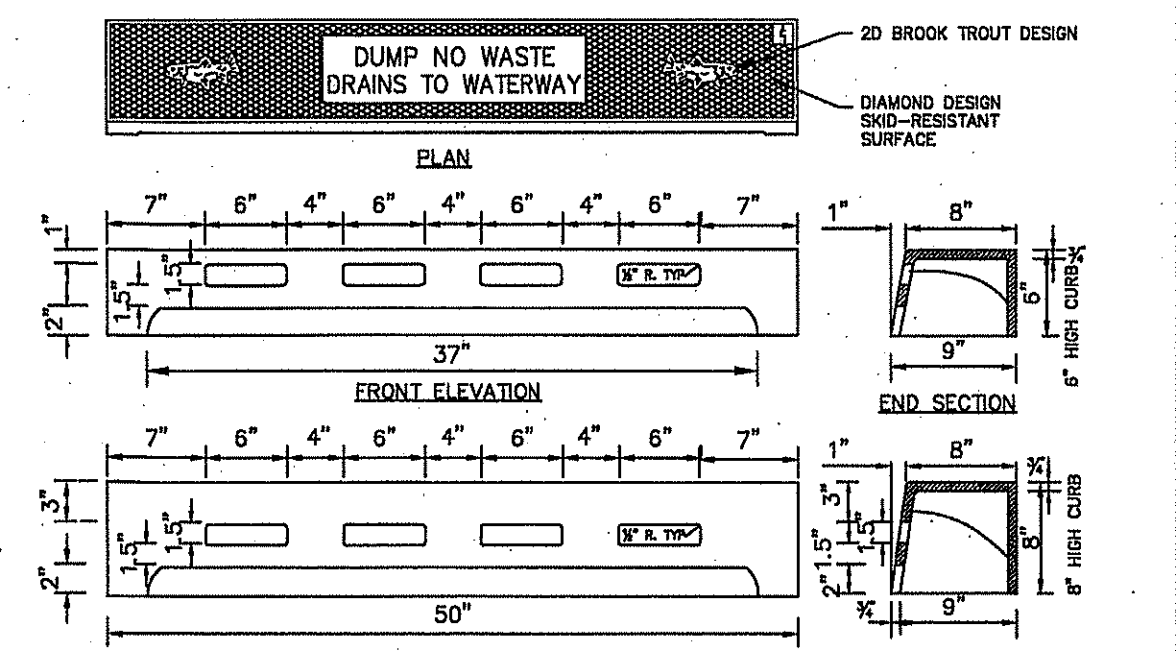
PRECAST TYPE "A" INLET
N.T.S.



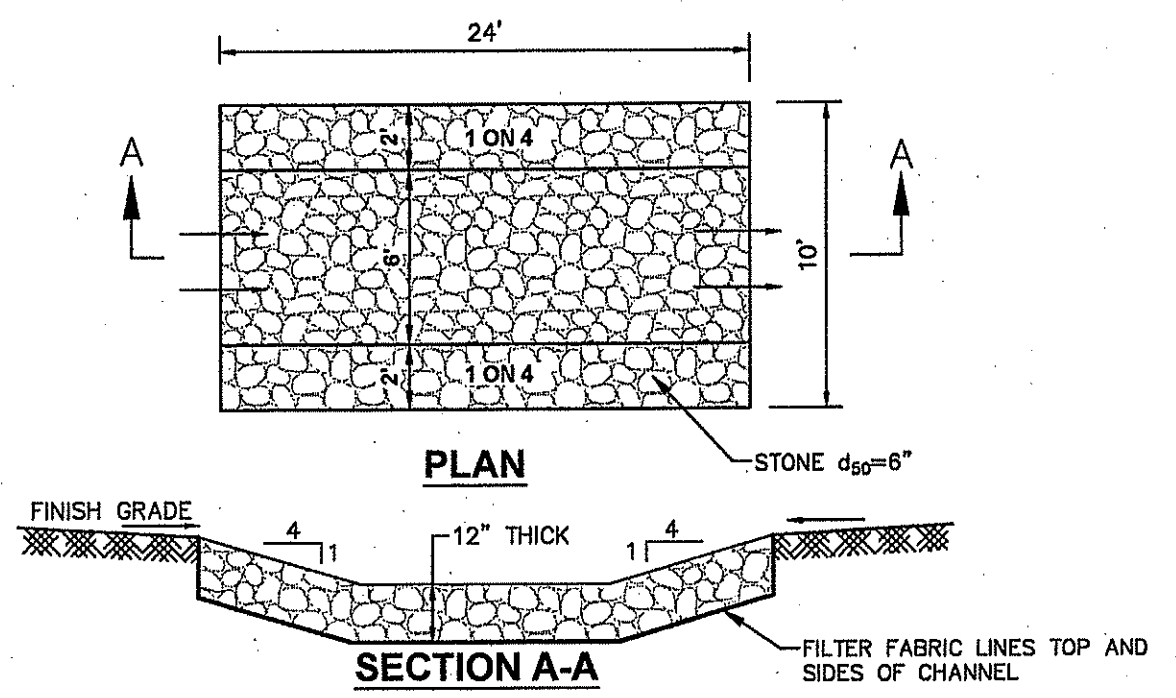
STORM MANHOLE (48" DIA)
N.T.S.



5' STORM MANHOLE
N.T.S.



TYPE "N-ECO" CURB PIECE
N.T.S.



RIP RAP CHANNEL DETAIL
N.T.S.

No.	DATE	BY	DESCRIPTION
6	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST
5	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
4	11/28/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/17/2019 AND SITE VISIT ON 11/22/2019
3	08/29/2019	C.A.F.	NO REVISION THIS SHEET
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMA LTR. 7/19/19, FSCD LTR. 7/19/19, GORDEN'S CORNER CHECKLIST
1	06/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MT2B ENGINEER'S LETTER DATED 5/17/19

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION CONSTRUCTION DETAILS-1

DW Smith Greenengineering Associates, LLC
1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07783 (732)363-5850 WWW.DWSMITH.COM

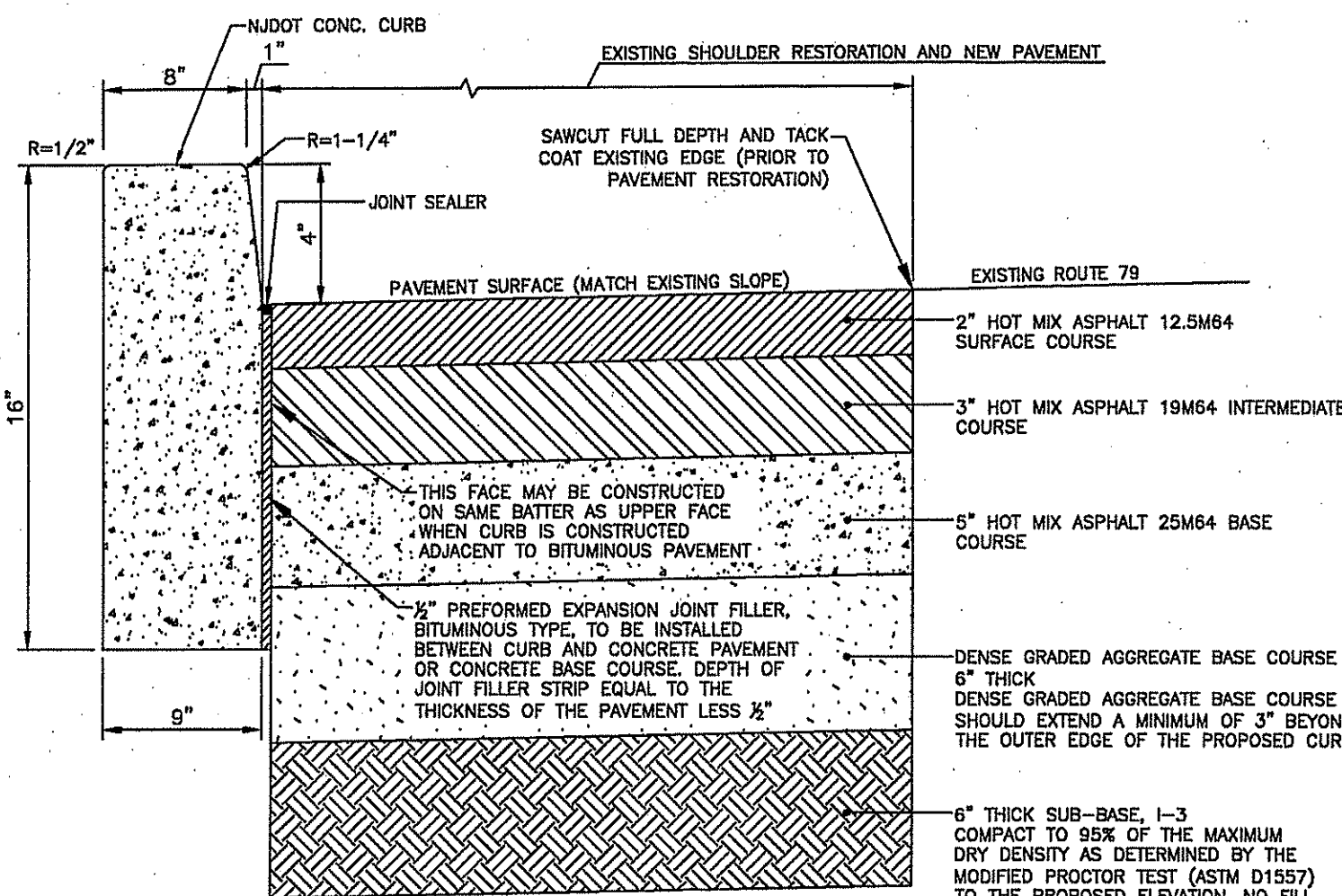
ENGINEERS PLANNERS SURVEYORS
ENVIRONMENTAL SERVICES COMMUNITY ASSN. SERVICES LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

PROJECT No.: 20-314.00
DATE: MARCH 13, 2019

DESIGNED BY: C.A.F. SCALE: AS SHOWN
DRAWN BY: P.T. REVIEWED BY: C.A.F.
SHEET: 13 OF 16

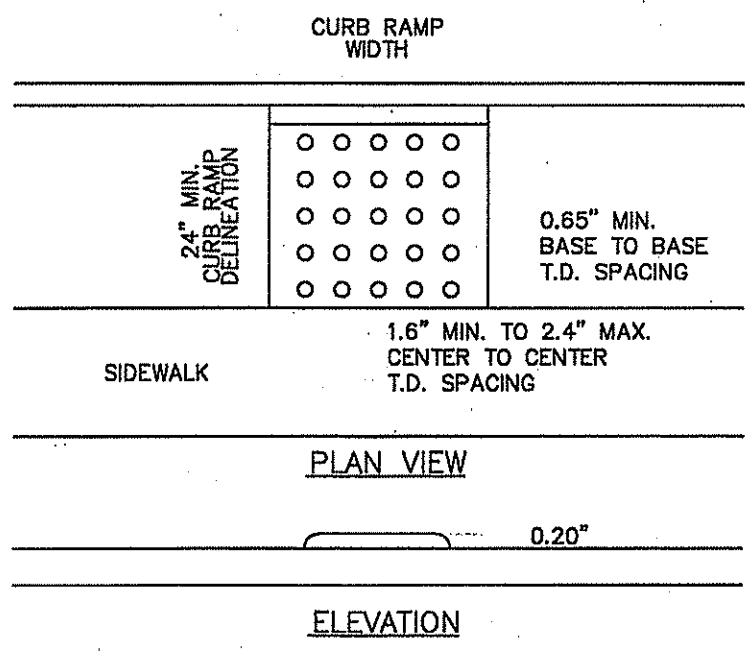
Carolyn A. Feigin
CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. No. 2462447200

Plotted: 10/20/2020 10:01 AM, By: p.tucker
 File: S:\PROJECTS\2020\20-314\DW Smith\20-314-CONSTRUCTION DETAILS-1.dwg
 © 2018 DW SMITH ASSOCIATES, LLC - www.dwsmith.com

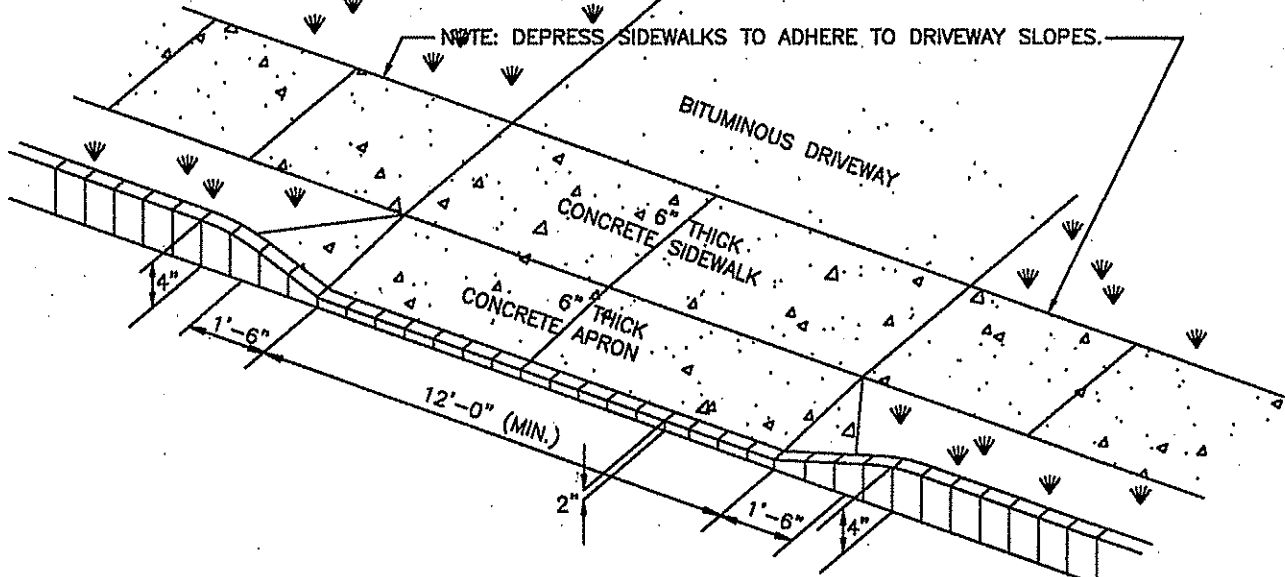


- NOTES:
1. SAWCUT PAVEMENT PRIOR TO EXCAVATION.
 2. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUB-BASE OR COMPACTED STRUCTURAL FILL.
 3. THE LONGITUDINAL JOINT BETWEEN THE NEW AND EXISTING PAVEMENT SHALL BE SAWCUT AND SEALED.
 4. APPLY TACK COAT TO THE EDGE OF EXISTING PAVEMENT PRIOR TO PAVING.
 5. EXISTING CONCRETE PAVING SHOULD BE REPLACED IN KIND IF FEASIBLE.
 6. EXISTING SOILS MAY BE USED IN PLACE OF SUB-BASE IF SUITABLE.

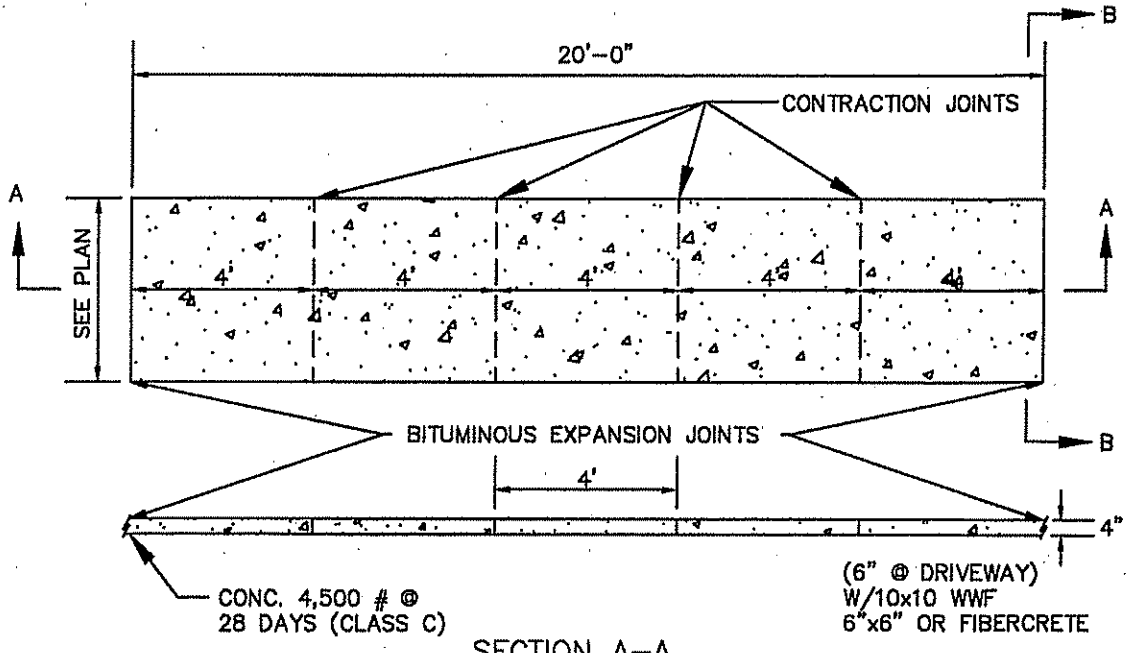
NJDOT CONCRETE CURB AND SHOULDER REPAIR (IF NECESSARY)
N.T.S.



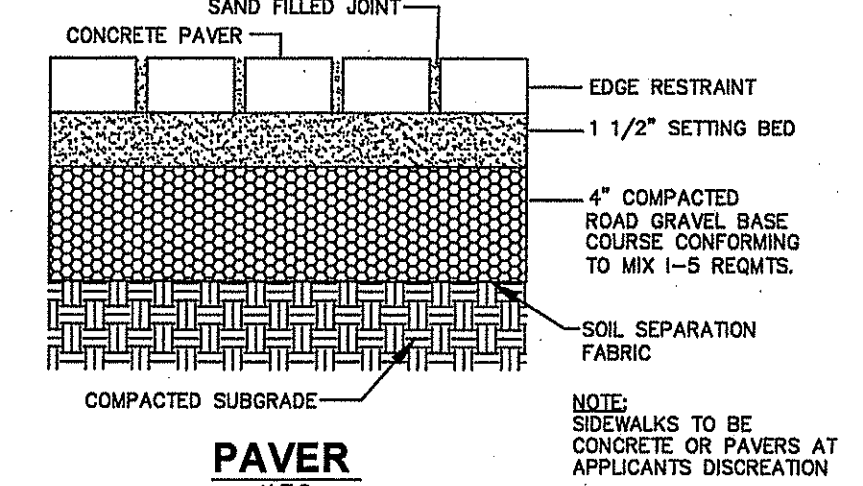
DETECTABLE WARNING SURFACE
N.T.S.



SIDEWALK AT DRIVEWAY
N.T.S.



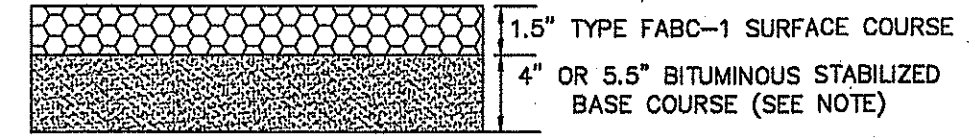
HANDICAP RAMP - TYPE 1
N.T.S.



PAVER
N.T.S.

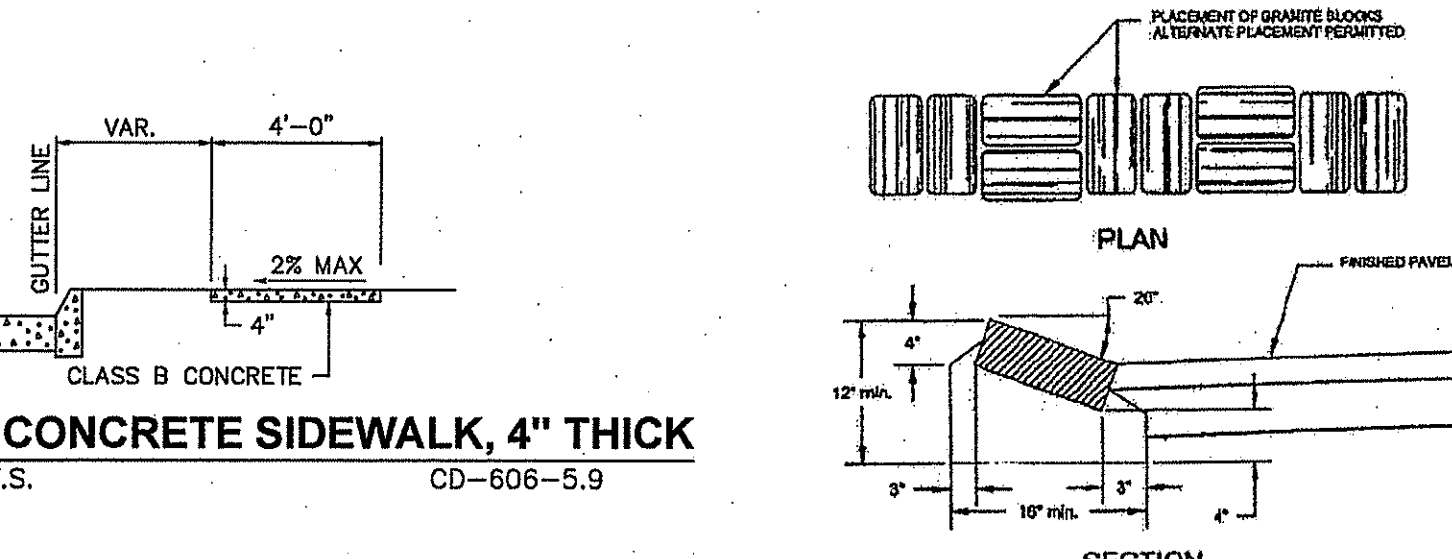
- NOTES:
1. STOP LINES ARE SOLID WHITE LINES, 12" WIDE, EXTENDING ACROSS ALL APPROACH LANES.
 2. STOP LINES ARE 4" MIN. BEHIND CROSSWALK.

STOP BAR DETAIL
N.T.S.

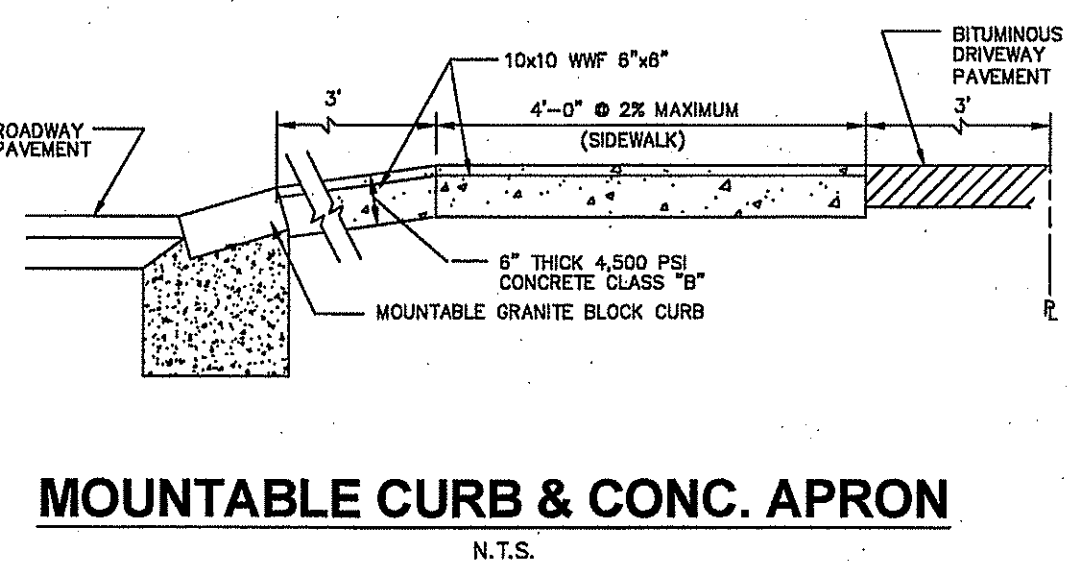


NOTE: SHOULD CBR TESTING OR FIELD EVALUATION OF THE SOIL CLASSIFICATION BE PERFORMED, AND RESULTS INDICATE THAT THE SUBGRADE IS NOT "POOR", THE STABILIZED BASE COURSE MAY BE REDUCED FROM 6.5" TO 4" THICKNESS. UPON REVIEW AND APPROVAL BY THE MUNICIPAL ENGINEER, PRIOR TO PLACEMENT OF STABILIZED BASE COURSE, THE SUBGRADE MUST BE COMPACTED TO 95% PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

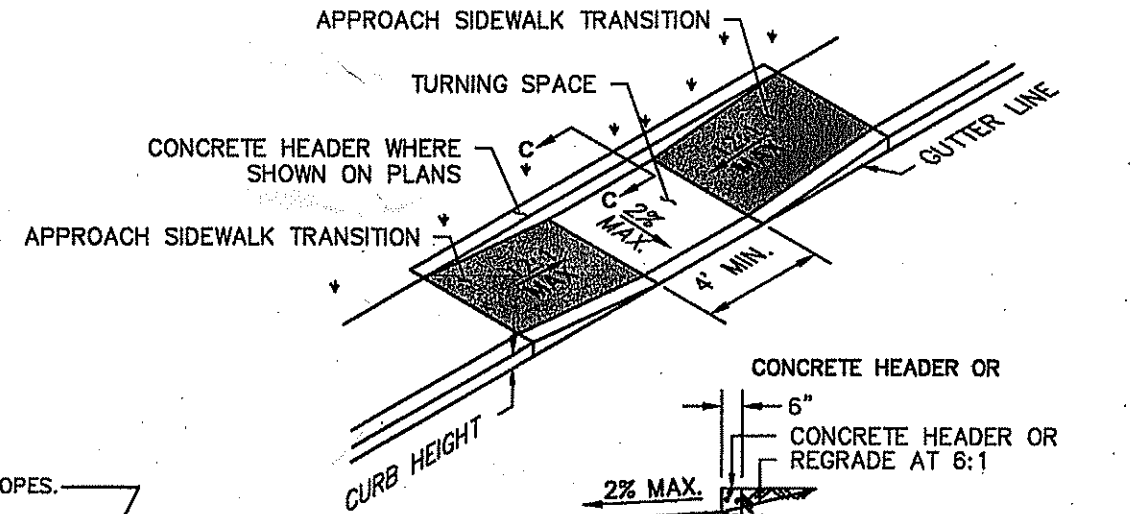
PAVEMENT SECTION
N.T.S.



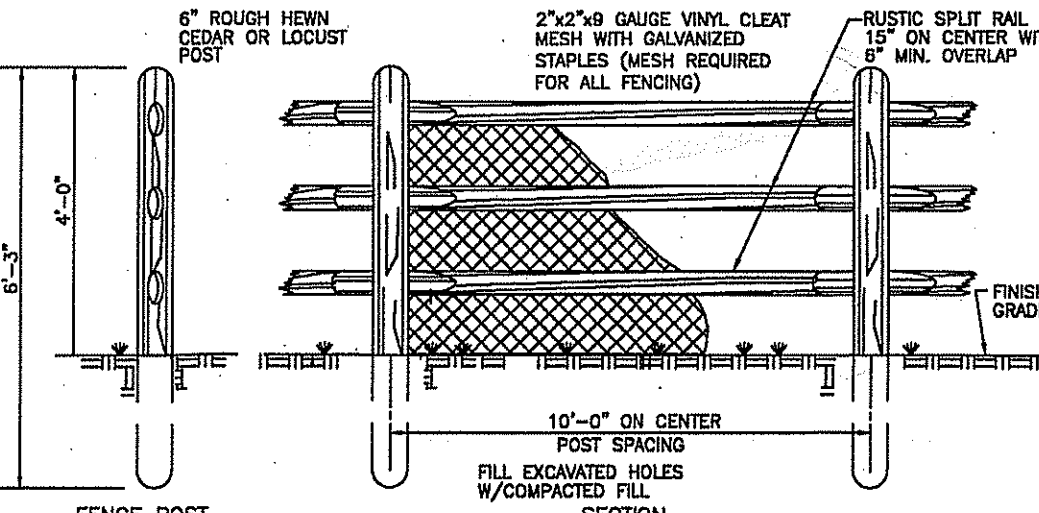
NJDOT CONCRETE SIDEWALK, 4" THICK
SCALE: N.T.S. CD-606-5.9



MOUNTABLE CURB & CONC. APRON
N.T.S.

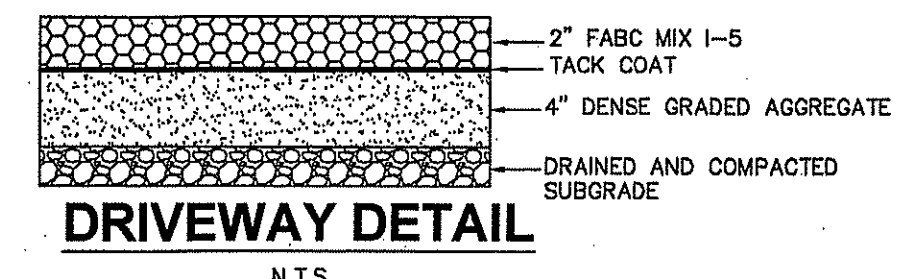


HANDICAP RAMP - TYPE 7
N.T.S.

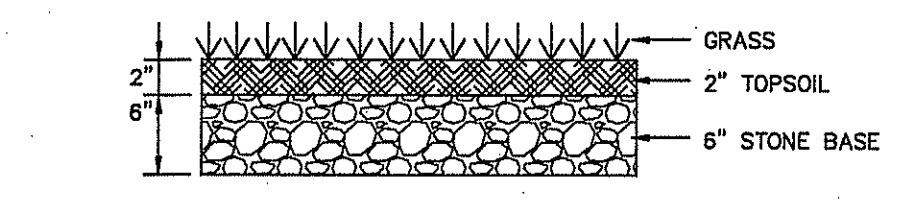


WOOD SPLIT RAIL FENCE AT RETAINING WALLS OVER 30" HIGH
N.T.S.

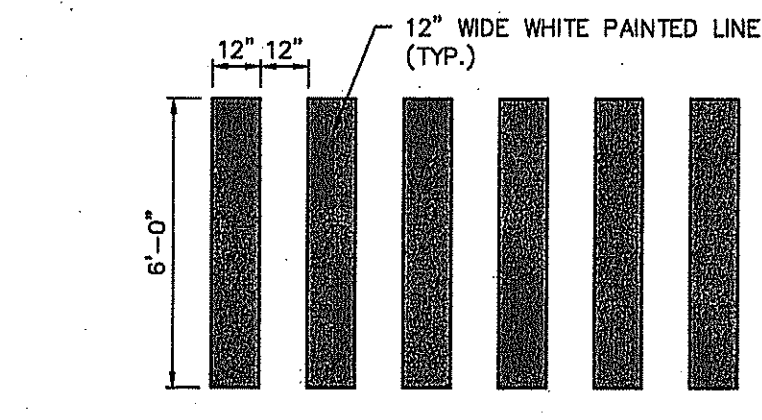
- FENCE NOTES:
1. THREE (3) RAIL, 4" HIGH FENCE IS SHOWN. OTHER ARRANGEMENTS ARE POSSIBLE. SEE SITE PLANS AND/OR CONTRACT DOCUMENTS.
 2. POSTS AND RAILS ARE TO BE CYPRESS OR CALIFORNIA REDWOOD, WITHOUT UNSOUND KNOTS OR THROUGH CRACKS.
 3. ALL MATERIAL TO BE TREATED WITH A PENTACHLOROPHENOL PRESERVATIVE IN ACCORDANCE WITH AASHTO DESIGNATION M 133.



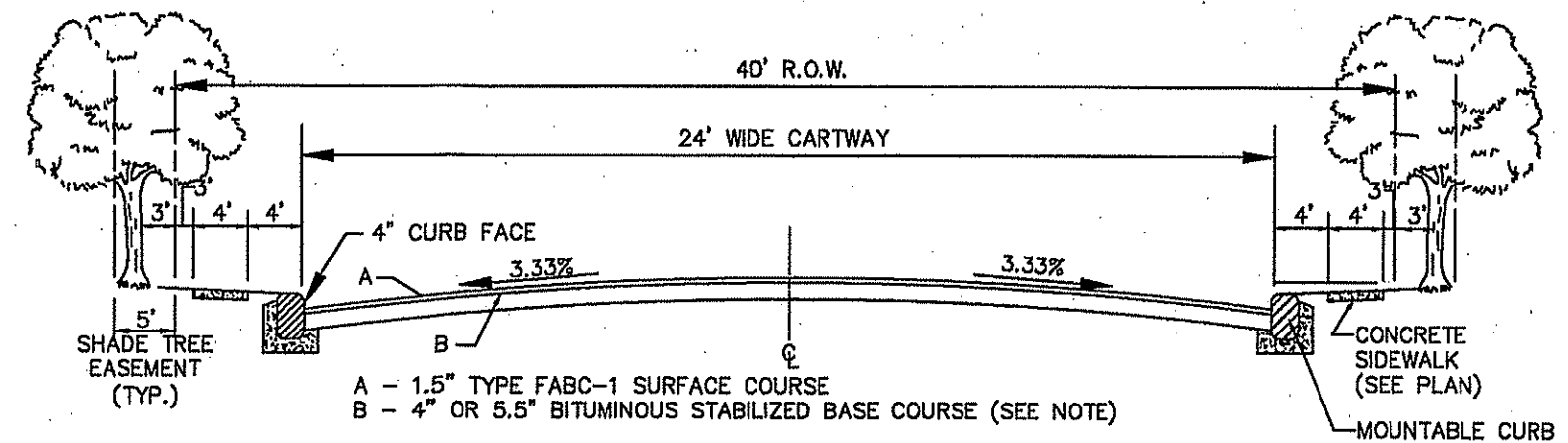
DRIVEWAY DETAIL
N.T.S.



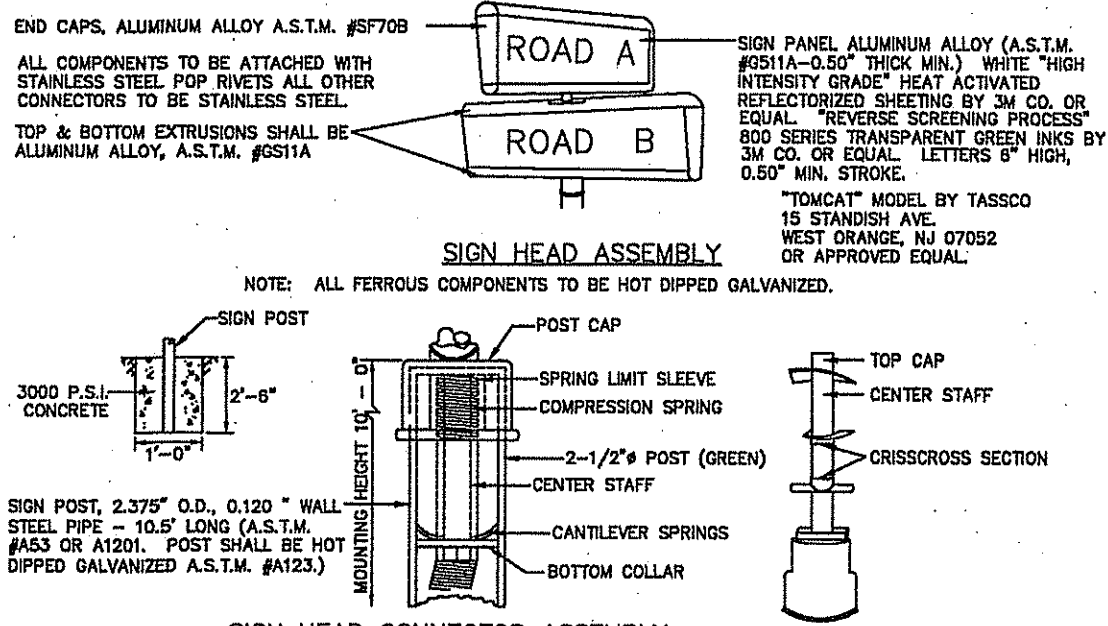
BASIN ACCESS DRIVE DETAIL
N.T.S.



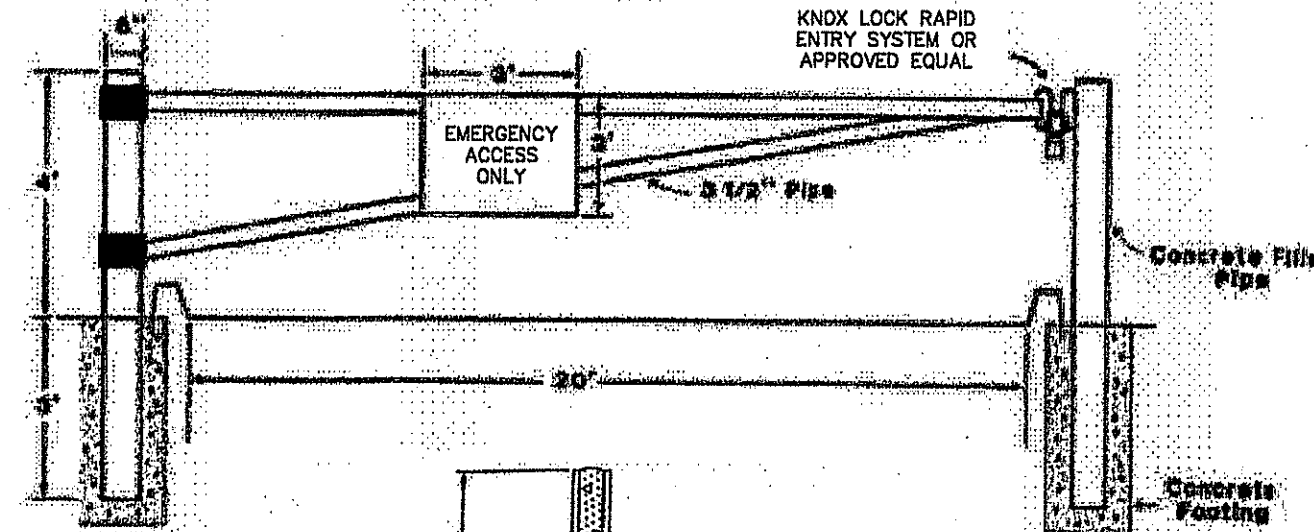
PEDESTRIAN CROSSWALK
N.T.S.



TYPICAL ROADWAY SECTION
N.T.S.

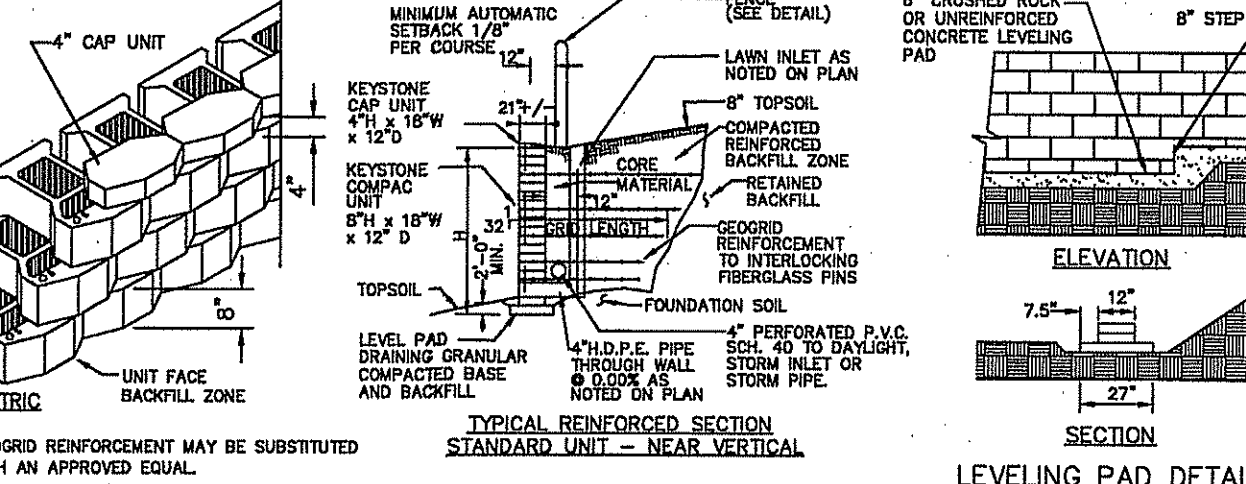
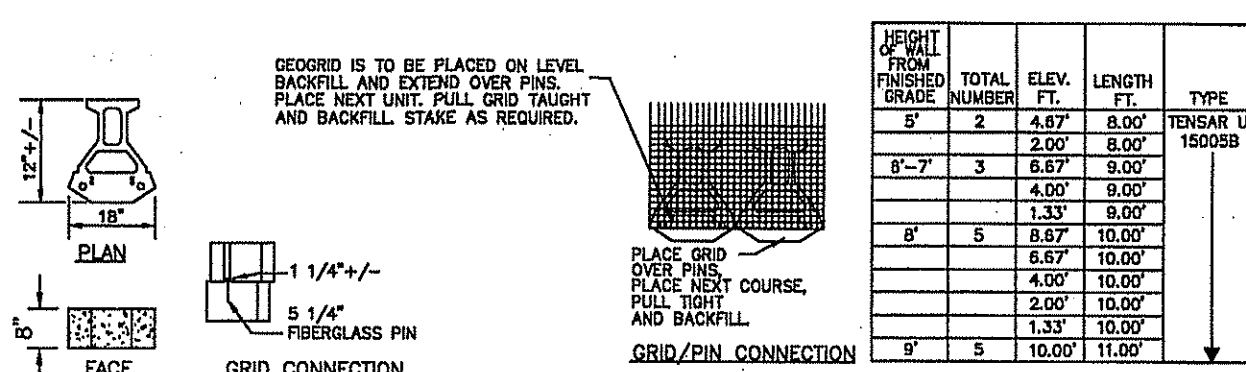


STREET SIGN DETAIL
N.T.S.



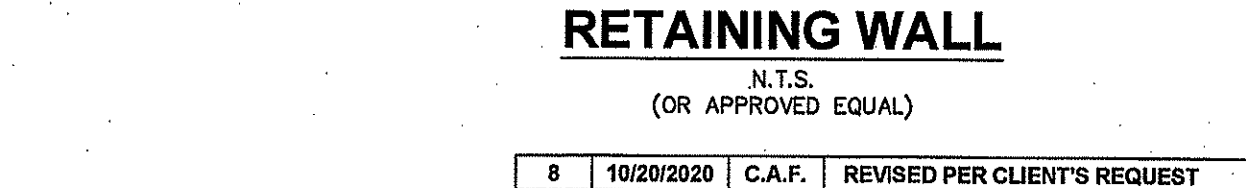
EMERGENCY ACCESS GATE
N.T.S.

1. Guard rails are Schedule #40, 6" diameter steel pipes.
2. Concrete footing is 3' deep with an 18" planer.
3. Post is exposed 2'-6" above pavement with 2'-9" minimum bury.
4. Observe 3'-0" clearance from hydrant.



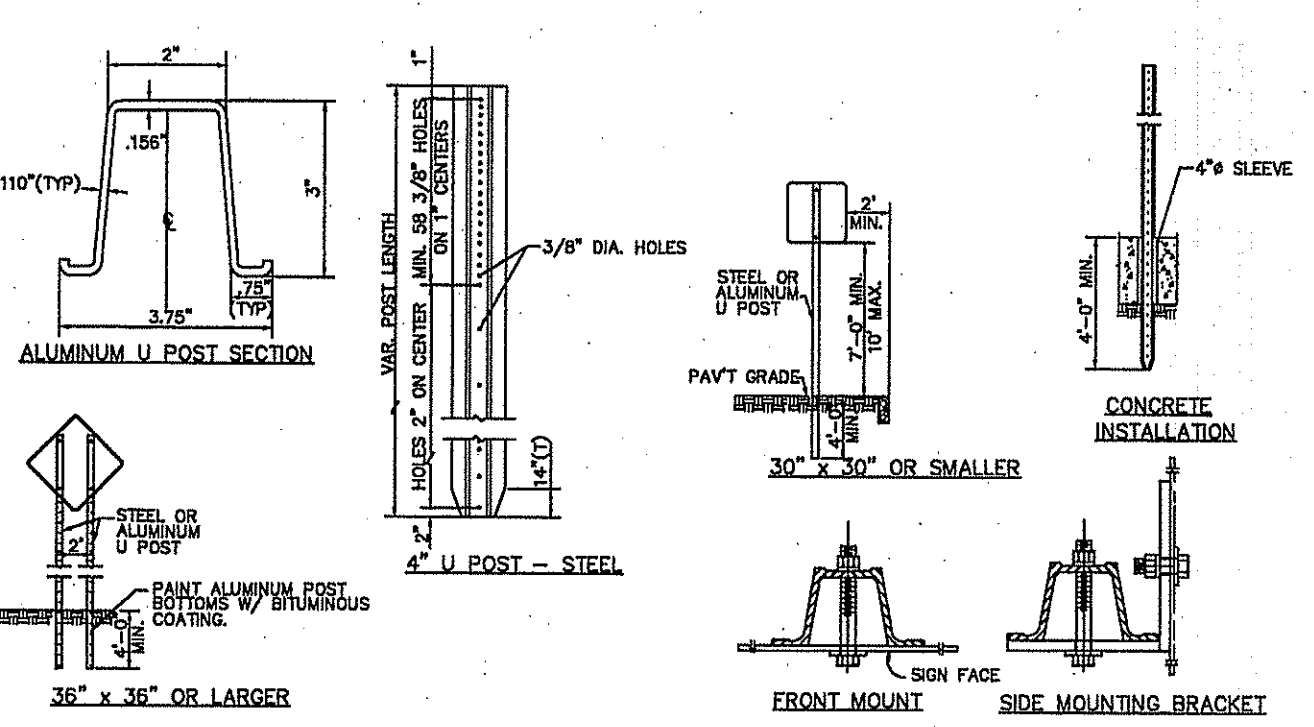
LEVELING PAD DETAIL
N.T.S.

- NOTES:
1. GEGRID REINFORCEMENT MAY BE SUBSTITUTED WITH AN APPROVED EQUAL.
 2. THE ELEVATION (HT) PLACEMENT OF THE GEGRID REINFORCEMENT IS MEASURED FROM THE TOP OF THE LEVELING WALL.



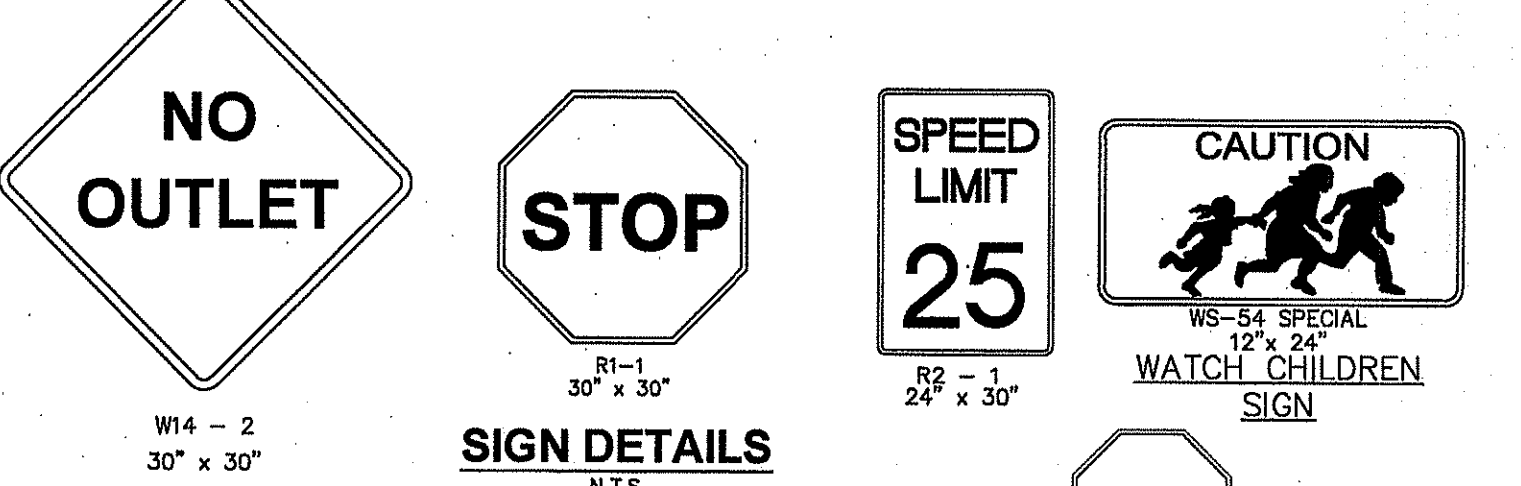
RETAINING WALL
N.T.S. (OR APPROVED EQUAL)

No.	DATE	BY	DESCRIPTION
8	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST
7	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
6	11/20/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
5	08/29/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/28/2019
4	08/28/2019	C.A.F.	REVISED PER CME REVIEW COMMENTS 8/23/2019
3	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME VNUA LTR. 7/10/19, FSCD LTR. 7/10/19, GORDEN'S CORNER CHECKLIST
2	08/12/2019	C.A.F.	REVISED PAVEMENT DETAIL AS PER CLIENT'S REQUEST
1	08/19/2019	C.A.F.	REVISED FOR RETAIL COMPLIANCE AND PER NJTBZ ENGINEER'S LETTER DATED 8/17/19

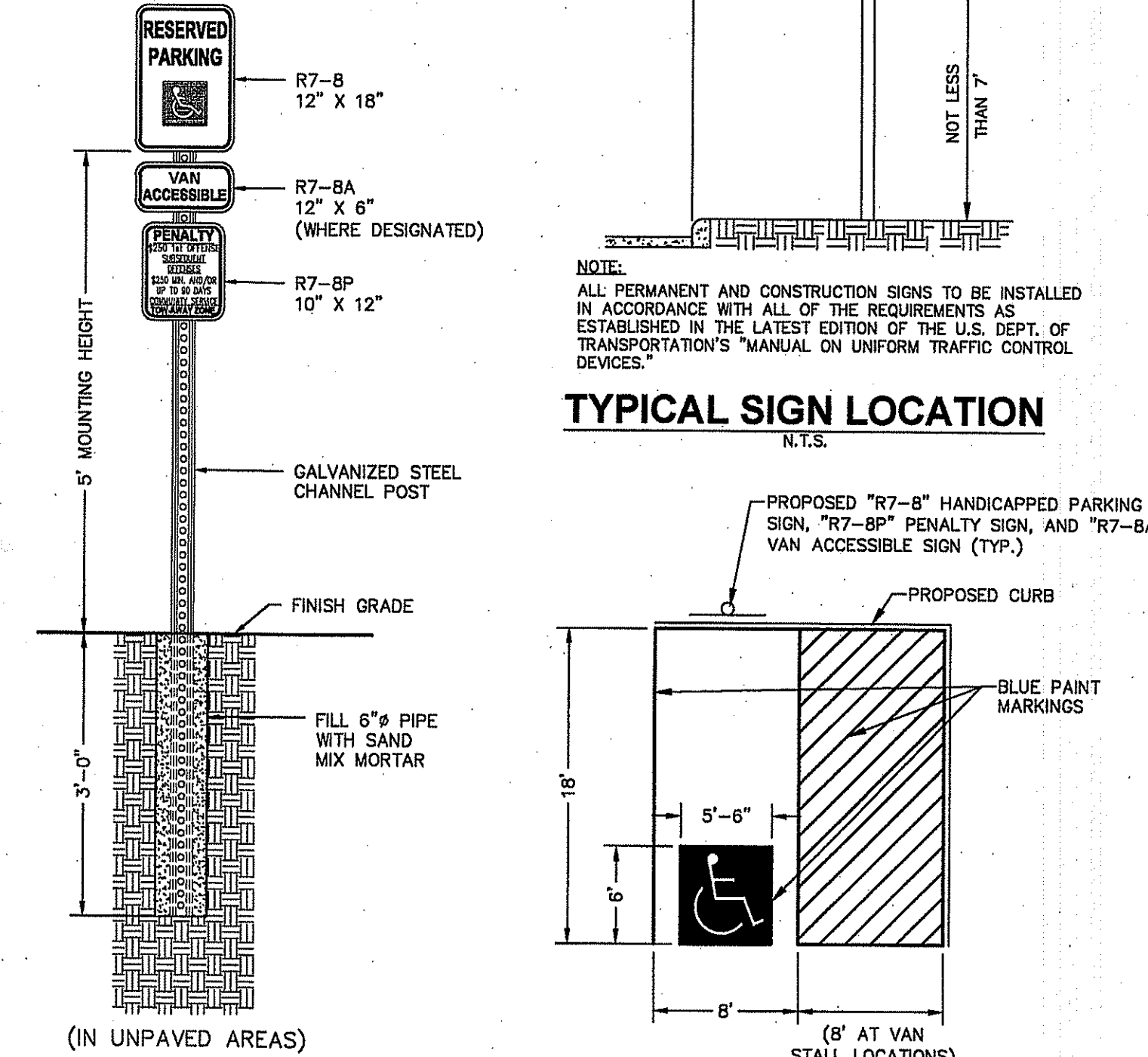


SIGN POST DETAILS
N.T.S.

- PERMANENT REGULATORY SIGNS
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 2. ALL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A-123.
 3. EXACT LOCATION OF SIGNS TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
 4. POSTS MAY BE STEEL OR ALUMINUM.



TYPICAL SIGN LOCATION
N.T.S.



HANDICAP PARKING SIGN
N.T.S.

HANDICAP PARKING STALL
N.T.S.

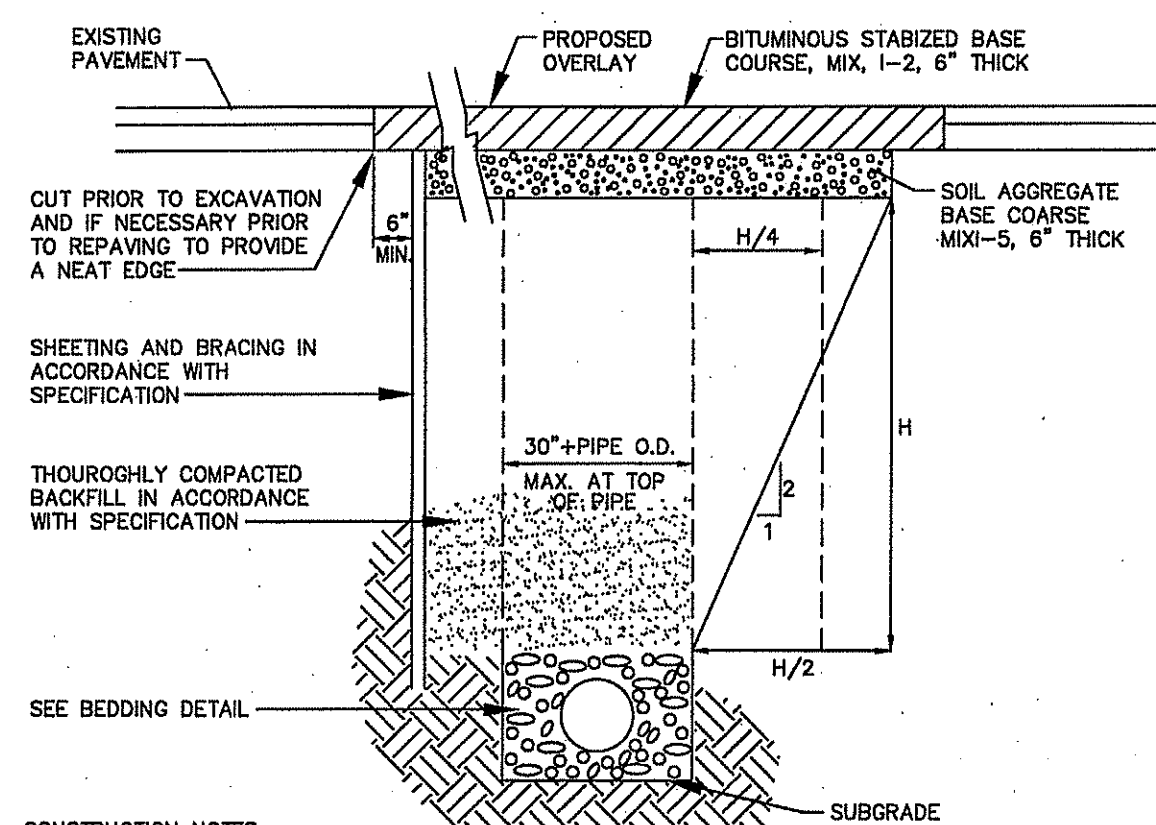
K. HOVNIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION CONSTRUCTION DETAILS-2

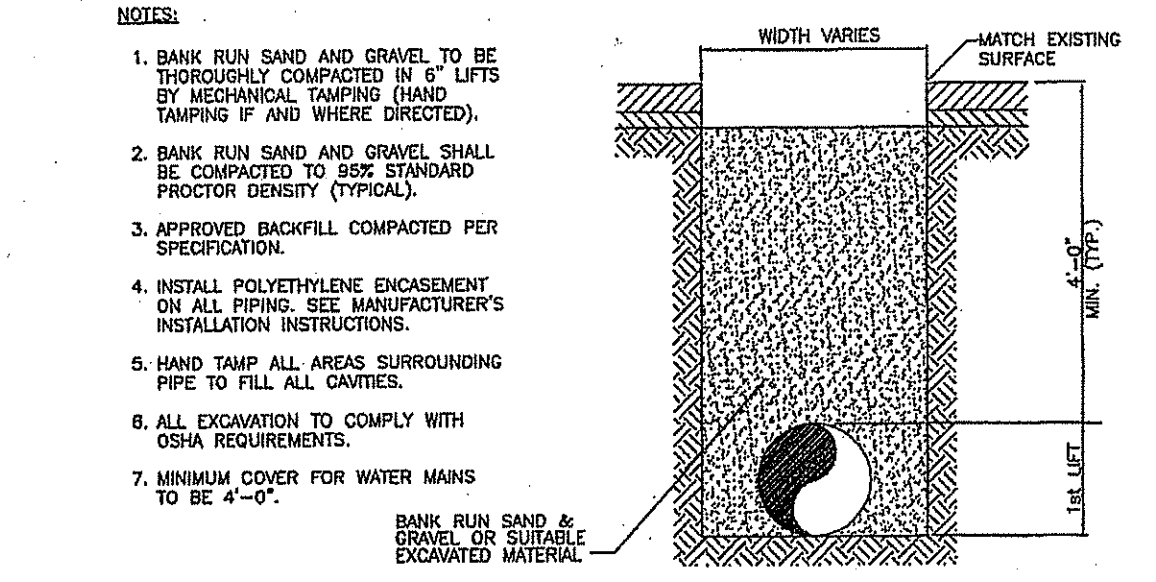
DW Smith Greenengineering
Associates, LLC
1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07753 (732)363-5880 WWW.DWSMITH.COM

ENGINEERS ▾ PLANNERS ▾ SURVEYORS
ENVIRONMENTAL SERVICES ▾ COMMUNITY ASSN. SERVICES ▾ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24G028122400

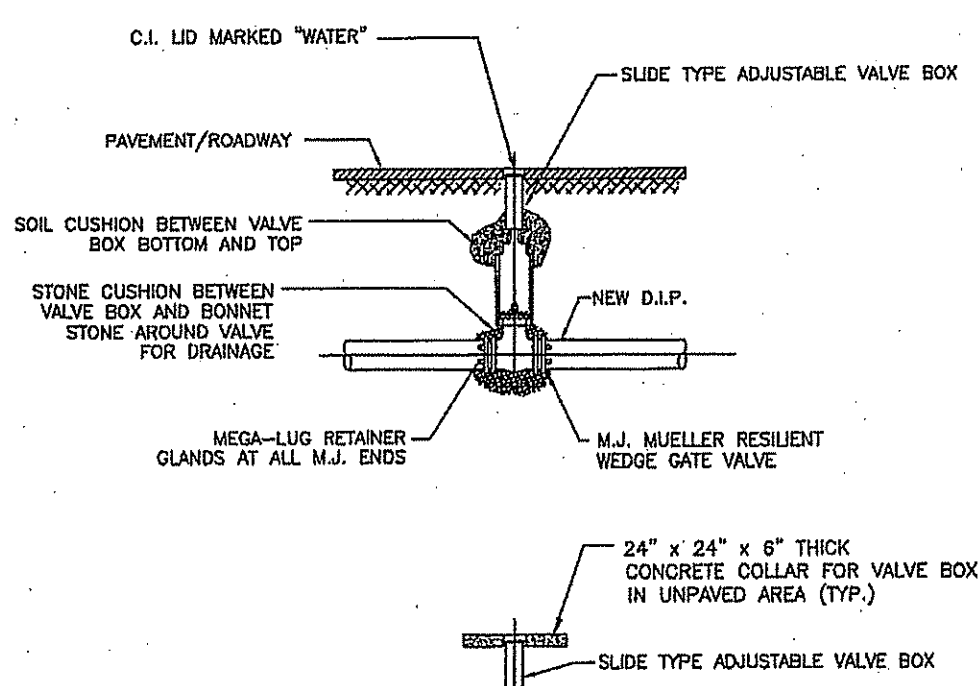
PROJECT No.:	20-314.00
DATE:	MARCH 13, 2019
DESIGNED BY:	C.A.F.
SCALE:	AS SHOWN
DRAWN BY:	P.T.
REVIEWED BY:	C.A.F.
SHEET:	14 OF 16



TRENCH AND TEMPORARY PAVEMENT REPAIR
N.T.S.



PIPE BEDDING/BACKFILL DETAIL
N.T.S.



GATE VALVE DETAIL
(UP TO 12")
N.T.S.

NOTE:

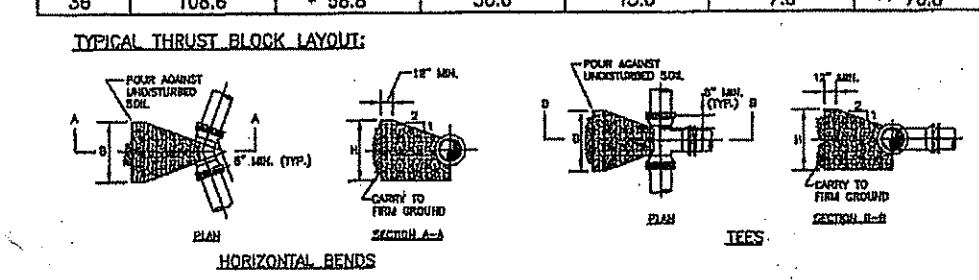
- 16" AND LARGER USE BUTTERFLY VALVE MUELLER 3211-20.
- MINIMUM COVER FOR WATER MAINS TO BE 4'-0".

TYPICAL GATE VALVE DETAIL
N.T.S.

THRUST BLOCKS
BEARING AREA FOR 200 P.S.I.

*A = CONTACT BEARING AREA OF BLOCK WITH EARTH SQUARE FEET (A=BH)

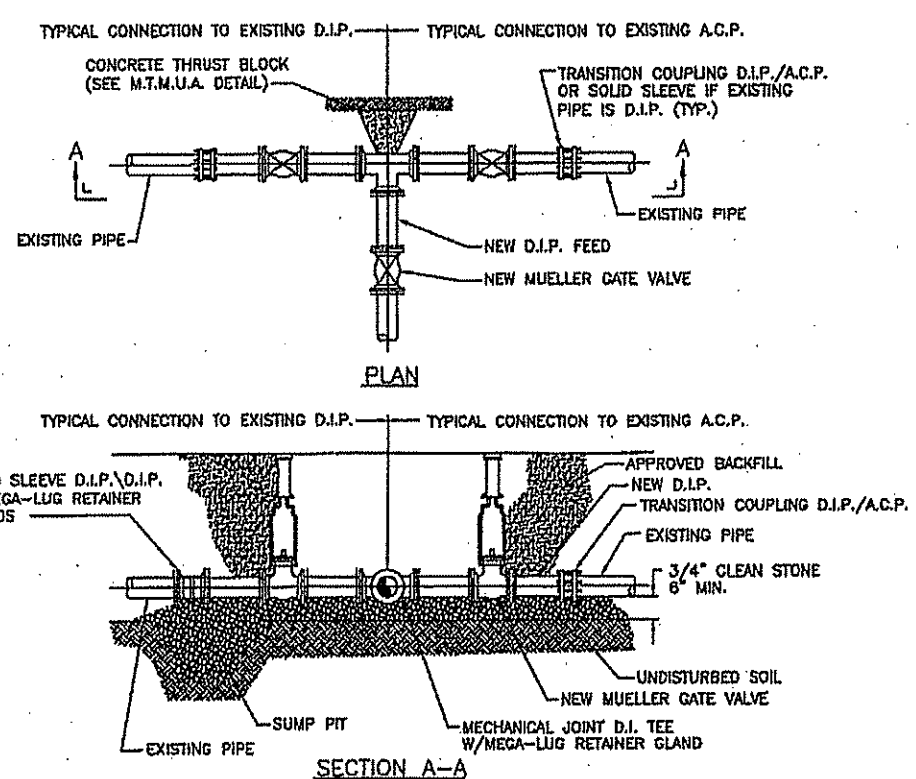
NOMINAL DIAMETER OF D.I. PIPE (D)	90° ELBOW	45° ELBOW	22 1/2° ELBOW	11 1/4° ELBOW	8 1/4° ELBOW	DEAD END
6"	3.7	2.0	1.0	0.5	.24	2.4
8"	6.0	3.2	1.6	.82	.42	4.2
10"	9.1	4.9	2.5	1.2	.58	6.9
12"	13.0	7.9	3.6	1.8	1.0	9.2
16"	22.4	12.2	6.2	3.2	1.6	15.8
18"	28.0	15.2	7.6	4.0	2.0	20.0
20"	34.6	18.6	9.6	4.8	2.4	24.4
24"	49.2	26.6	13.6	6.8	3.4	34.8
30"	75.8	41.0	21.0	10.8	5.2	53.6
36"	108.6	58.8	30.0	15.0	7.8	78.8



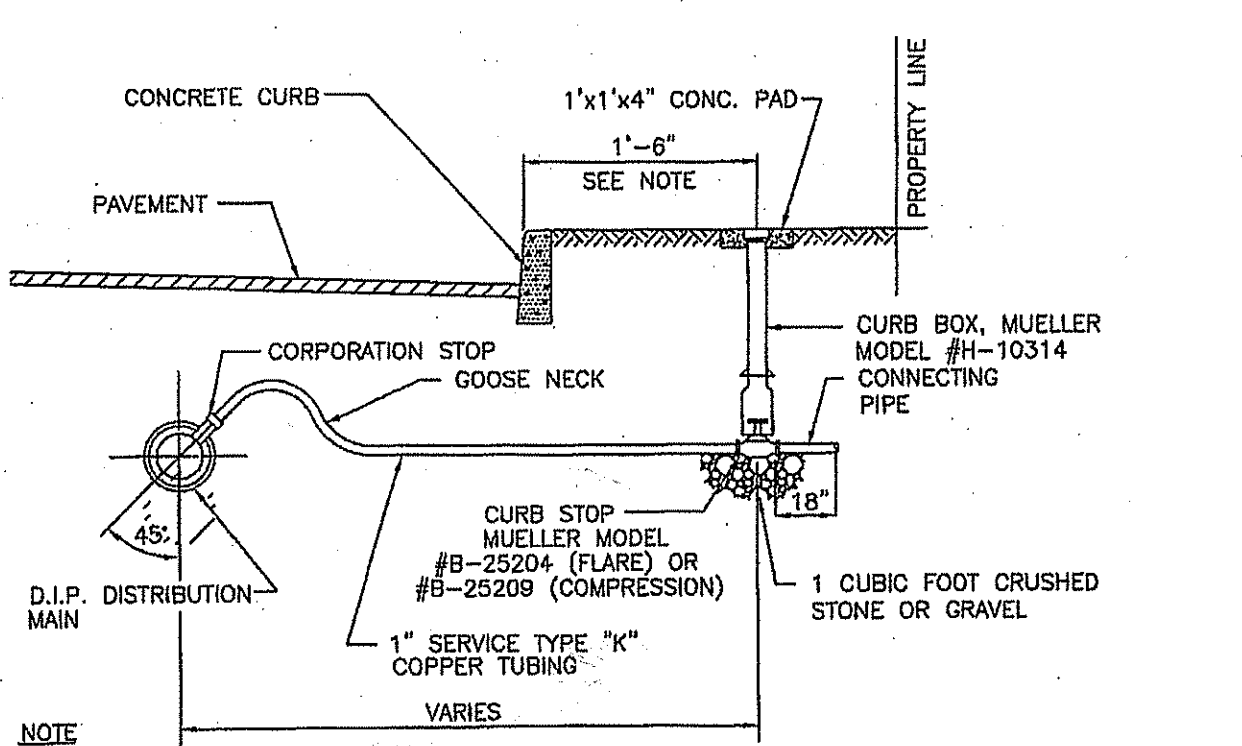
NOTES:

- BEARING AREAS ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 3,000 LBS. PER SQ. FT. FOR A LESSER SOIL BEARING CAPACITY, THESE AREAS SHALL BE INCREASED ACCORDINGLY.
- ALL CONCRETE THRUST BLOCKS SHALL BE CLASS B CONCRETE.
- THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.
- NO JOINT SHALL BE COVERED WITH CONCRETE.
- MEGA-LUG RETAINER GLANDS SHALL BE USED ON ALL MECHANICAL JOINT CONNECTIONS.
- BEARING AREA CALCULATED: $\frac{P \times A \times \sin(\text{Angle of Bend}/2)}{\text{Soil Bearing Capacity}}$ or $\frac{P \times A}{\text{Soil Bearing Capacity}}$

THRUST BLOCK TABLE
N.T.S.



CUT-IN CONNECTION INTO EXISTING WATER MAIN
N.T.S.

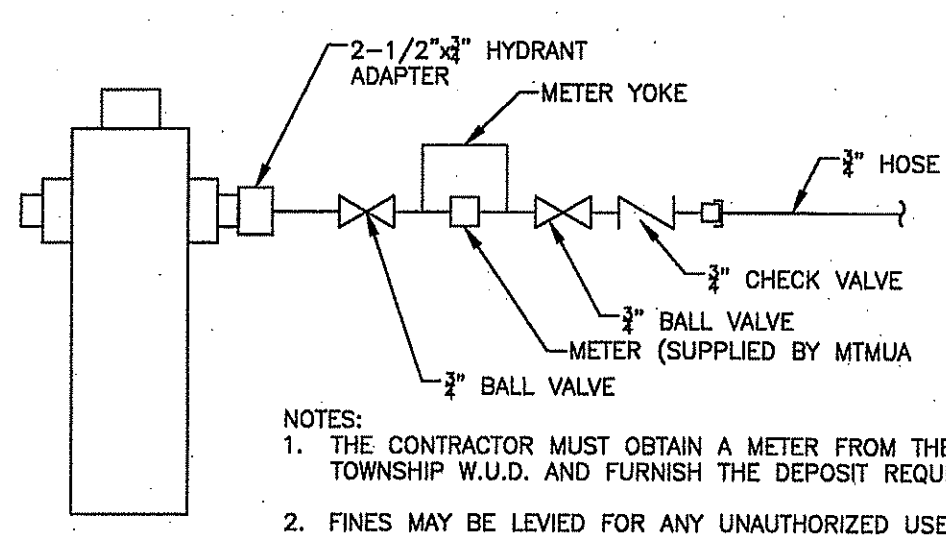


NOTE:

- CURB STOPS/BOXES SHALL BE LOCATED IN THE EXISTING PLANTER AREA MIDWAY BETWEEN CURB AND SIDEWALK. IF A PLANTER AREA DOES NOT EXIST, THE CURB BOX SHALL BE PLACED 1'-6" BEHIND THE EXISTING OR FUTURE CURB.
- MINIMUM SERVICE SIZE IS 1". LARGER SIZES TO FOLLOW THE SAME LAYOUT AS SHOWN AND MAY REQUIRE SADDLES. SEE DETAIL FOR TYPICAL CORPORATION CONNECTION.
- IF A BACKFLOW PREVENTER IS REQUIRED SEE DETAIL OF BACKFLOW PREVENTER & METER PIT.
- MINIMUM COVER FOR WATER MAINS TO BE 4'-0".

HOUSE SERVICE CONNECTION
N.T.S.

CORPORATION STOP DETAIL
N.T.S.

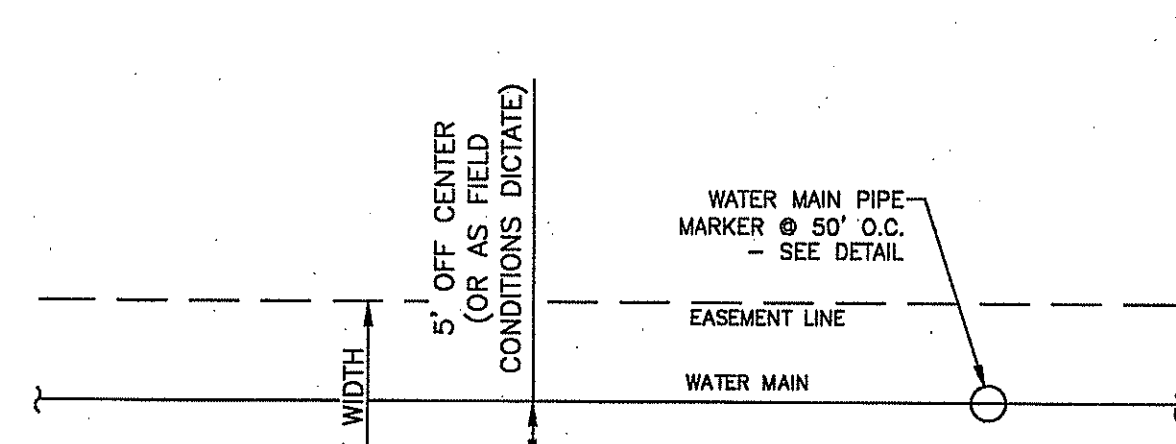


NOTES:

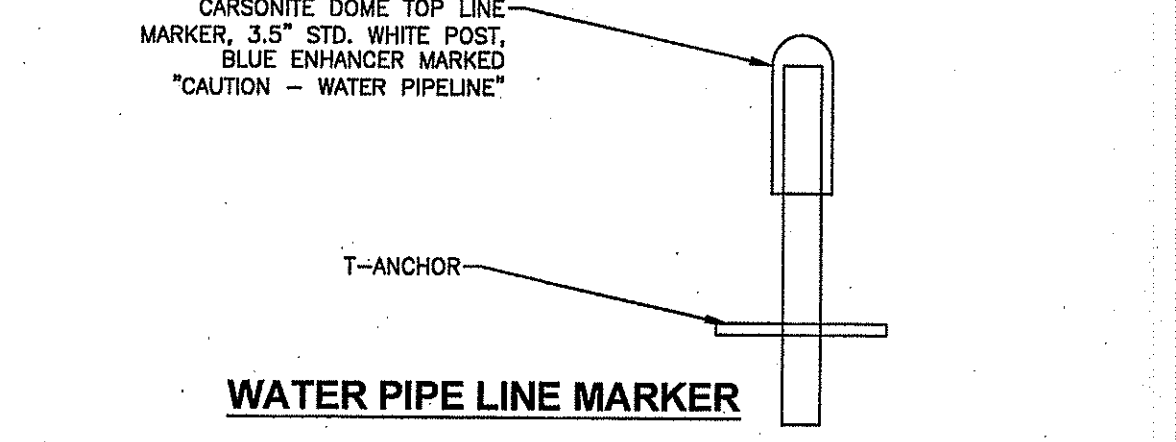
- THE CONTRACTOR MUST OBTAIN A METER FROM THE MARLBORO TOWNSHIP W.U.D. AND FURNISH THE DEPOSIT REQUIRED.
- FINES MAY BE LEVIED FOR ANY UNAUTHORIZED USE OF MARLBORO TWP. W.U.D. WATER THAT IS NOT METERED.
- ALL UN-METERED WATER USE MUST BE APPROVED BY THE ENGINEER. MARLBORO TWP. W.U.D. WILL SUPPLY WATER FOR TESTING OF WATER MAINS, DISINFECTION, AND INITIAL FLUSHING AFTER CHLORINATION. OTHER USES MAY REQUIRE THE INSTALLATION OF A BACKFLOW PREVENTER AT THE HYDRANT.

CONSTRUCTION WATER USE HOOK-UP
N.T.S.

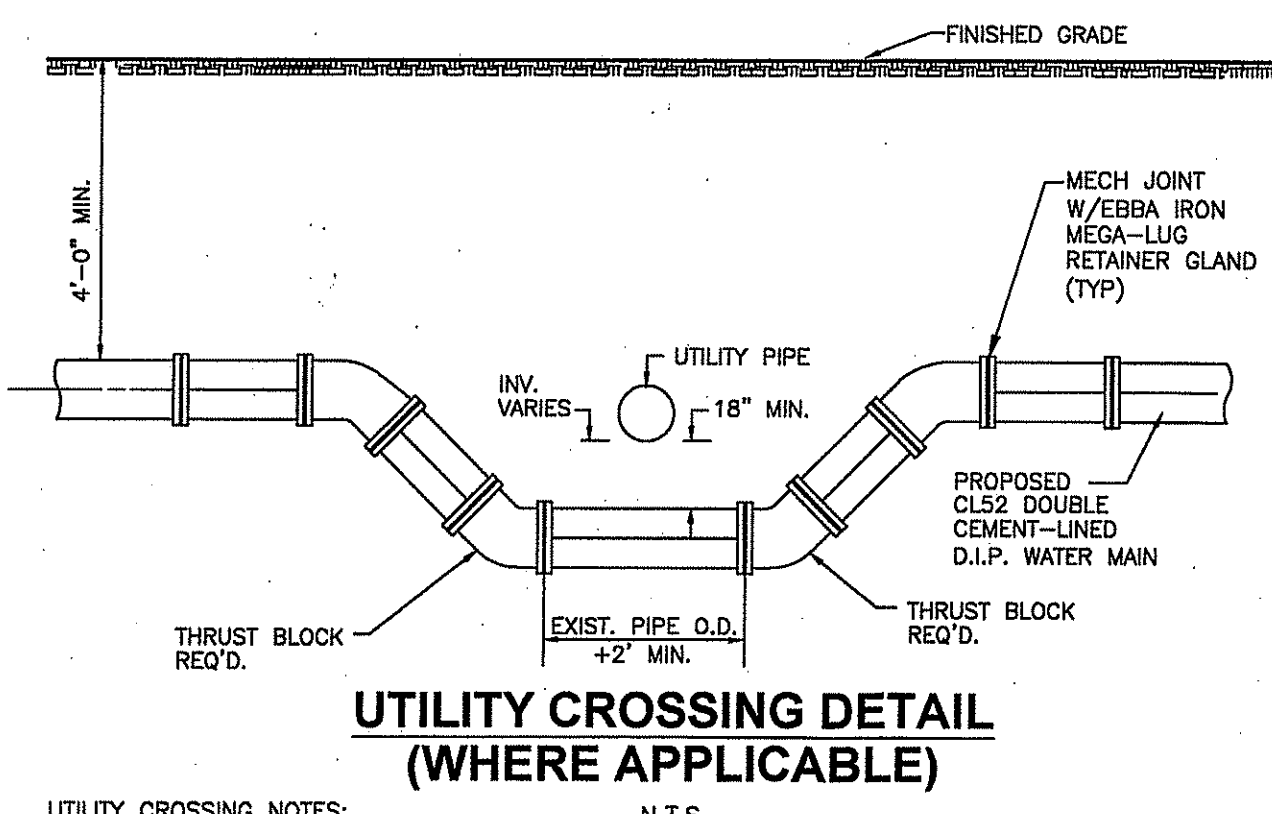
FIRE HYDRANT WITH M.J. TEE CONNECTION
N.T.S.



CONSTRUCTION WATER USE HOOK-UP
N.T.S.



WATER MAIN EASEMENT LOCATION AND PIPE MARKER
N.T.S.



UTILITY CROSSING NOTES:

- WATER MAIN MAY BE LOOPED ABOVE OBSTRUCTION IF 4' COVER AND 18" VERTICAL CLEARANCE ARE MAINTAINED.
- WATER MAIN SHALL BE CLASS 52 DUCTILE IRON DOUBLE CEMENT-LINED (DOUBLE THICKNESS) BITUMINOUS COATED OUTSIDE PIPE. ALL JOINTS SHALL BE MECH. JOINT OR PUSH-ON WITH FIELD-LOK GASKETS (US PIPE OR EQUAL) POLYETHYLENE ENCASED AND ALL FITTINGS SHALL BE MECH. JOINT DUCTILE IRON (RESTRAINED).
- ALL MECHANICAL JOINTS TO HAVE EBBA IRON SERIES 1100 MEGA-LUG RETAINER GLAND.
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS OR OTHER POINTS OF PIPE DIRECTION CHANGE.
- VERTICAL CLEARANCE BETWEEN OBSTRUCTING PIPE AND WATER MAIN SHALL BE 18" MINIMUM.
- TIE RODS SHALL BE UTILIZED TO RESTRAIN PIPE JOINTS. DETAILS OF THE TIE ROD ASSEMBLY SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. TIE RODS SHALL BE SUFFICIENT TO RESTRAIN THE THRUST DEVELOPED AT 200 PSI WORKING PRESSURE.

FINAL FOR SEWER DESIGN & WATER DESIGN

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
CONSTRUCTION DETAILS- 3

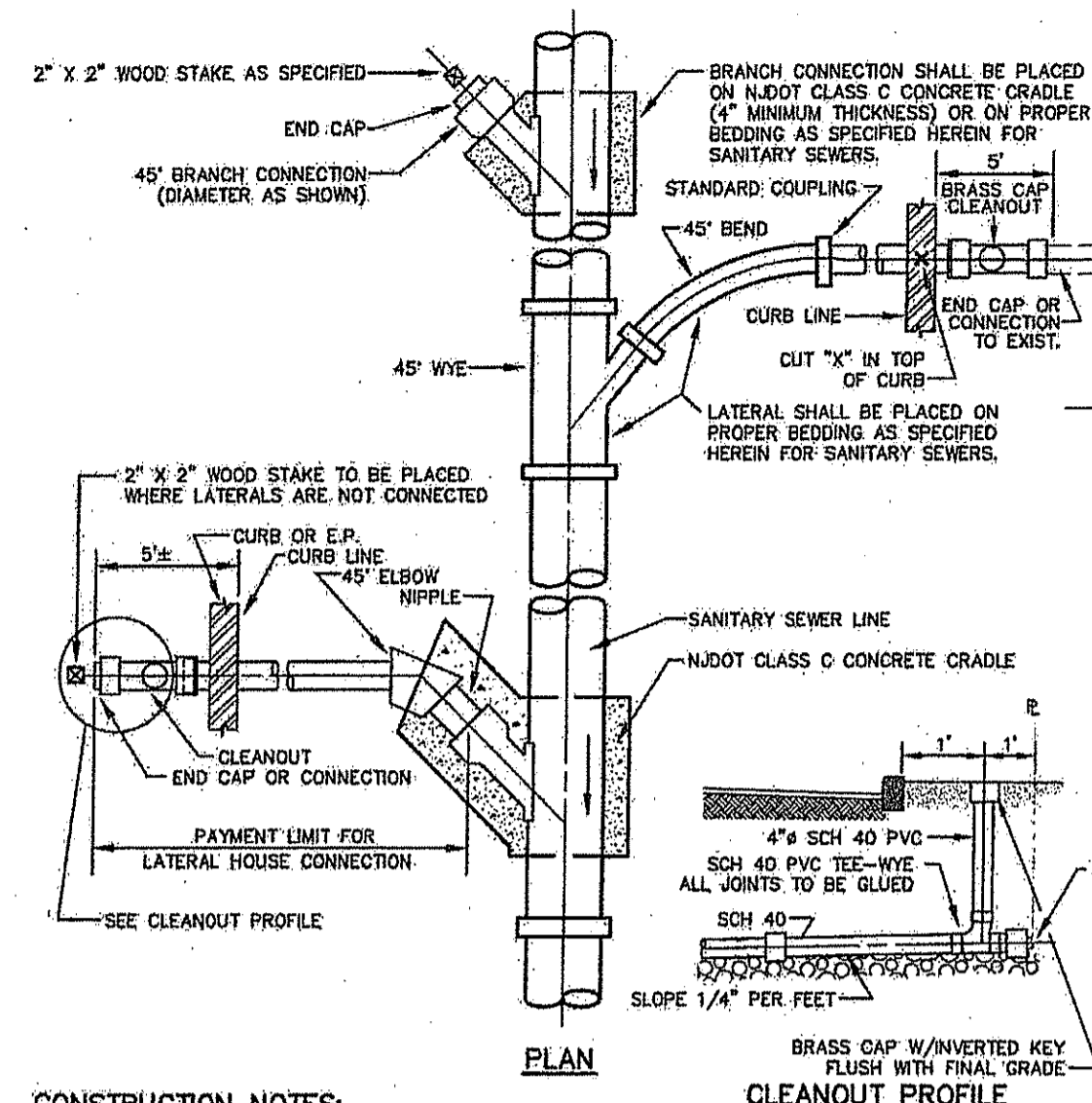
DW Smith Greenengineering
Associates, LLC
1460 STATE ROUTE WALL TOWNSHIP, NJ 07723
WWW.DWSMITH.COM

ENGINEERS ▽ PLANNERS ▽ SURVEYORS
ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24G2812400

No.	DATE	BY	DESCRIPTION	REVISIONS
5	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST	
4	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST	
3	08/29/2019	C.A.F.	NO REVISION THIS SHEET	
2	08/09/2019	C.A.F.	NO REVISION THIS SHEET	
1	08/19/2019	C.A.F.	NO REVISION THIS SHEET	

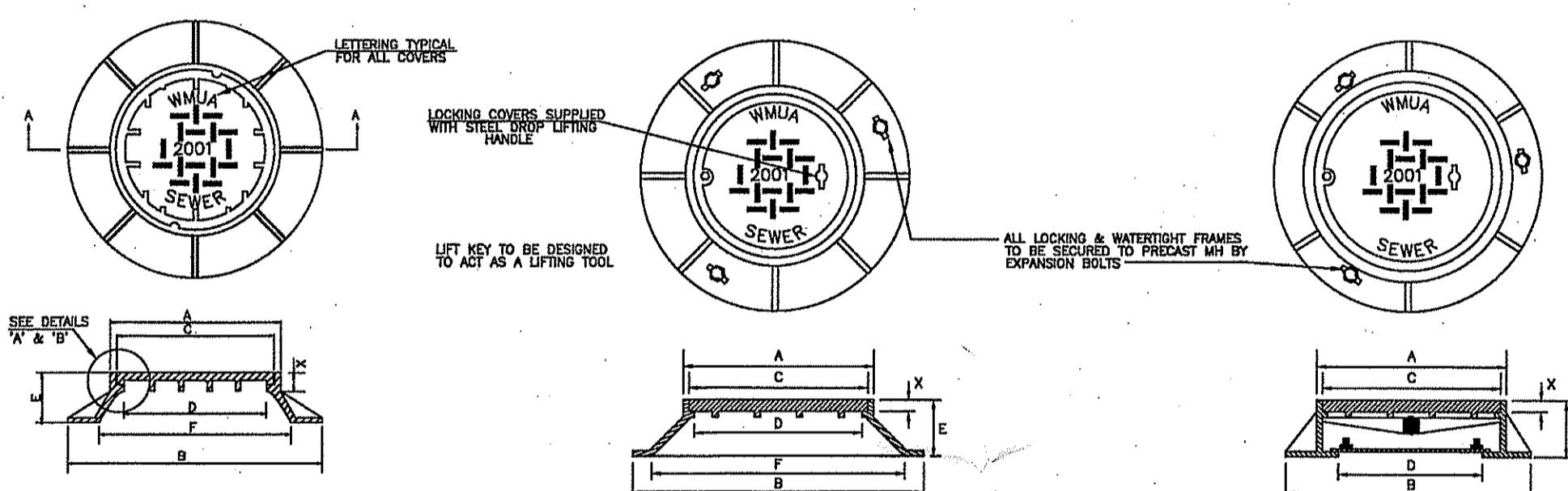
Carolyn A. Feighn
CAROLYN A. FEIGHN
PROFESSIONAL ENGINEER
N.J. P.E. No. 24GE04247200

PROJECT No.: 20-3
DATE: MARCH 13, 2020
DESIGNED BY: C.A.F.
SCALE: AS SHOWN
DRAWN BY: P.T.
REVIEWED BY: C.A.F.
SHEET: 15 OF 16



- CONSTRUCTION NOTES:**
1. DETAIL SHOWS CONSTRUCTION OF A "BRANCH CONNECTION" AND OF TWO DIFFERENT TYPES OF "LATERAL HOUSE CONNECTION". TYPE OF CONNECTION IS AT CONTRACTOR'S OPTION.
 2. SIZE OF LATERAL TO BE AS SHOWN ON THE PLANS OR AS DIRECTED, 4" MINIMUM.
 3. CLEAN-OUTS IN DRIVEWAYS SHALL BE COVERED WITH A MONUMENT BOX - CAMPBELL PATTERN NO. 4155 OR EQUAL.
 4. ALL LATERAL PIPES AND FITTINGS SHALL BE SCHEDULED 40 SOLVENT WELDED PVC.

BRANCH AND LATERAL HOUSE CONNECTIONS
N.T.S.



STANDARD F. & C. #1203B
ALL FRAMES & COVERS

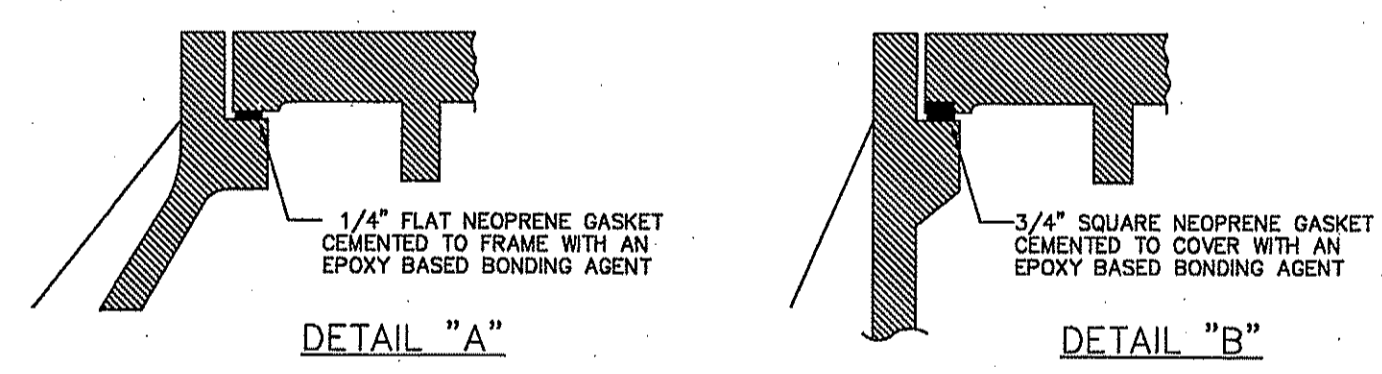
LOCKING F. & C. #1487
LOCKING FRAMES & COVERS

WATERTIGHT F. & C. #6545
WATERTIGHT FRAMES & COVERS

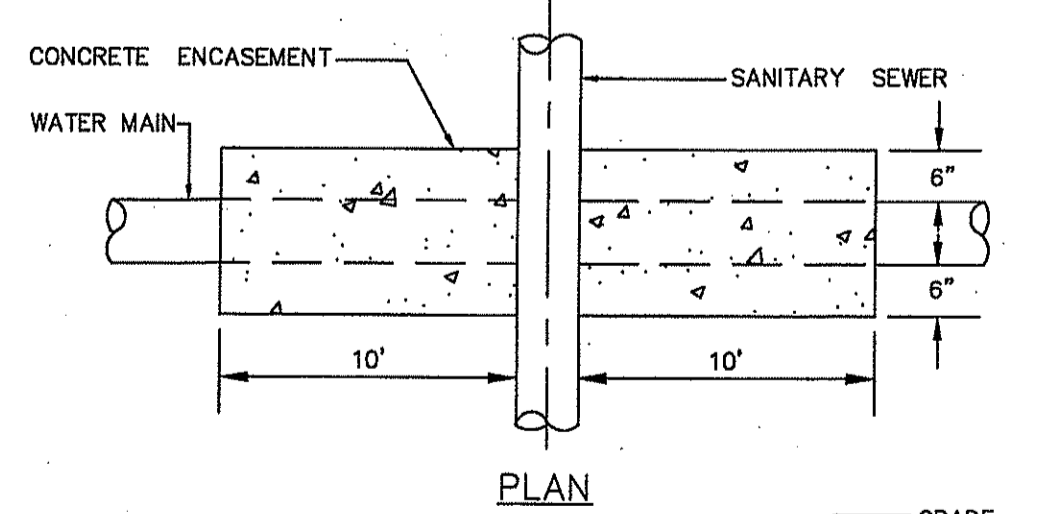
MATERIAL - GRAY CAST IRON ASTM A18, CLASS 30B
BEARING SURFACE OF FRAME & COVER SHALL BE MILL MACHINED.
ALL CASTINGS SHALL BE ASPHALTUM DIP COATED.
ALL TYPES OF COVERS SHALL BE LETTERED AS SHOWN ON STANDARD COVER. ALL LETTERING 1/2" BLOCK STYLE RAISED.
ALL COVERS SHALL HAVE TWO (2) NON-PENETRATING PICK HOLES.
CONTRACTOR TO PROVIDE CERTIFICATION THAT ALL FRAMES AND COVERS ARE AMERICAN MADE.

DIMENSIONS

#1203 & #1487	#6545
A = 27 3/4"	A = 32"
B = 39"	B = 39"
C = 25 3/4"	C = 30"
D = 24"	D = 24"
E = 6"	E = 8"
F = 32"	F = 32"
X = 1 3/8"	X = 1 1/2"



TYPICAL MANHOLE FRAME AND COVERS

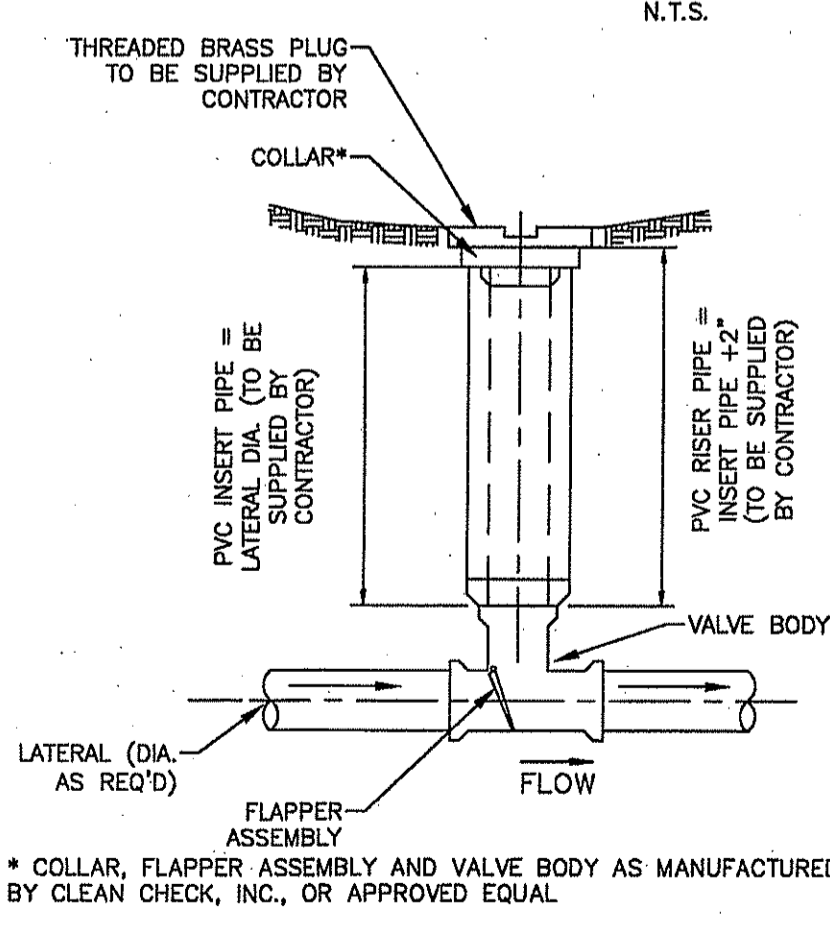


FULL ENCASUREMENT

- CONSTRUCTION NOTES:**
1. ENCASUREMENT TO BE CONSTRUCTED WHEN VERTICAL CLEARANCE UNDER WATER SYSTEM OR STORM SEWER IS 18" OR LESS, OR WHEN HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN AT THE SAME ELEVATION IS LESS THAN 10".
 2. CONCRETE TO BE N.D.OT 3700 PSI CLASS AND STRENGTH.
 3. FULL ENCASUREMENT TO BE USED AT ALL TIMES UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 4. NEW PIPE SHALL BE ENCASED IN POLYETHYLENE WRAP.

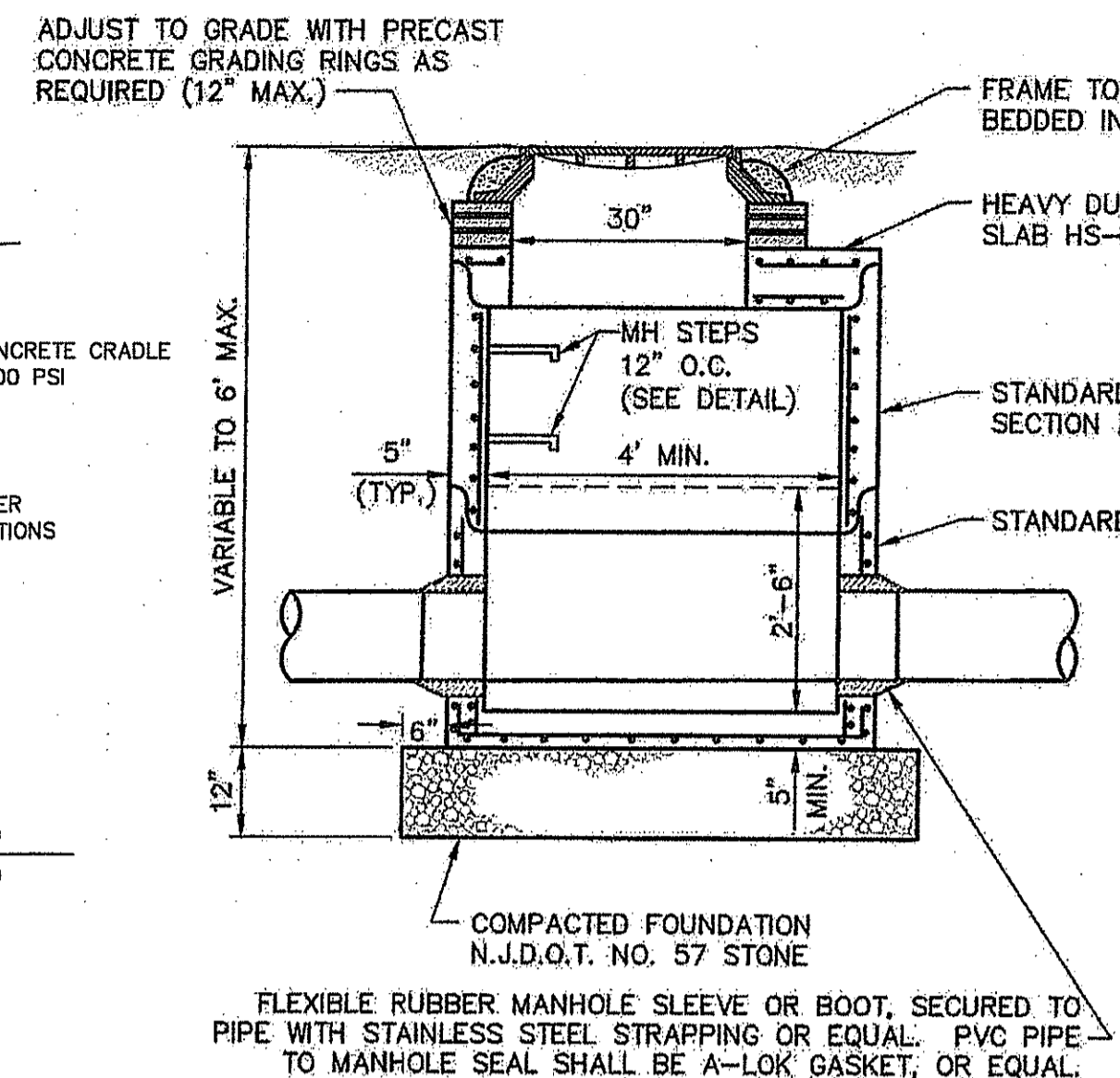
CONCRETE ENCASUREMENT
N.T.S.

CONCRETE ENCASUREMENT DETAIL
N.T.S.

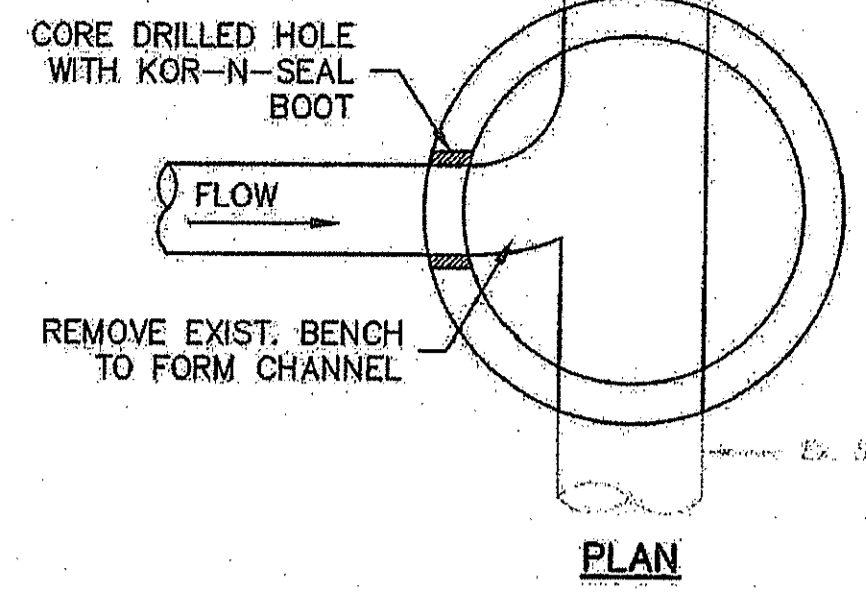


- CONSTRUCTION NOTES:**
1. BACKWATER CHECK VALVES OF AN APPROVED TYPE ARE REQUIRED IN ALL BUILDING SEWERS, HOUSE CONNECTIONS, OR LATERALS WHICH SERVE FIXTURES BELOW THE STREET LEVEL. FURTHER, CHECK VALVES ARE REQUIRED ON ANY NEW BUILDING SEWER WHERE THE LOWEST FIXTURE IS BELOW THE RIM ELEVATION OF THE NEXT UPSTREAM MANHOLE STRUCTURE.
 2. LATERAL "INTO" AND "OUT OF" THE BACKWATER CHECK VALVE SHALL MEET ALL SPECIFICATIONS AND DIMENSIONS REQUIRED BY THE UTILITY.
 3. CHECK VALVE TO BE INSTALLED UPSTREAM OF THE CURB CLEANOUT.

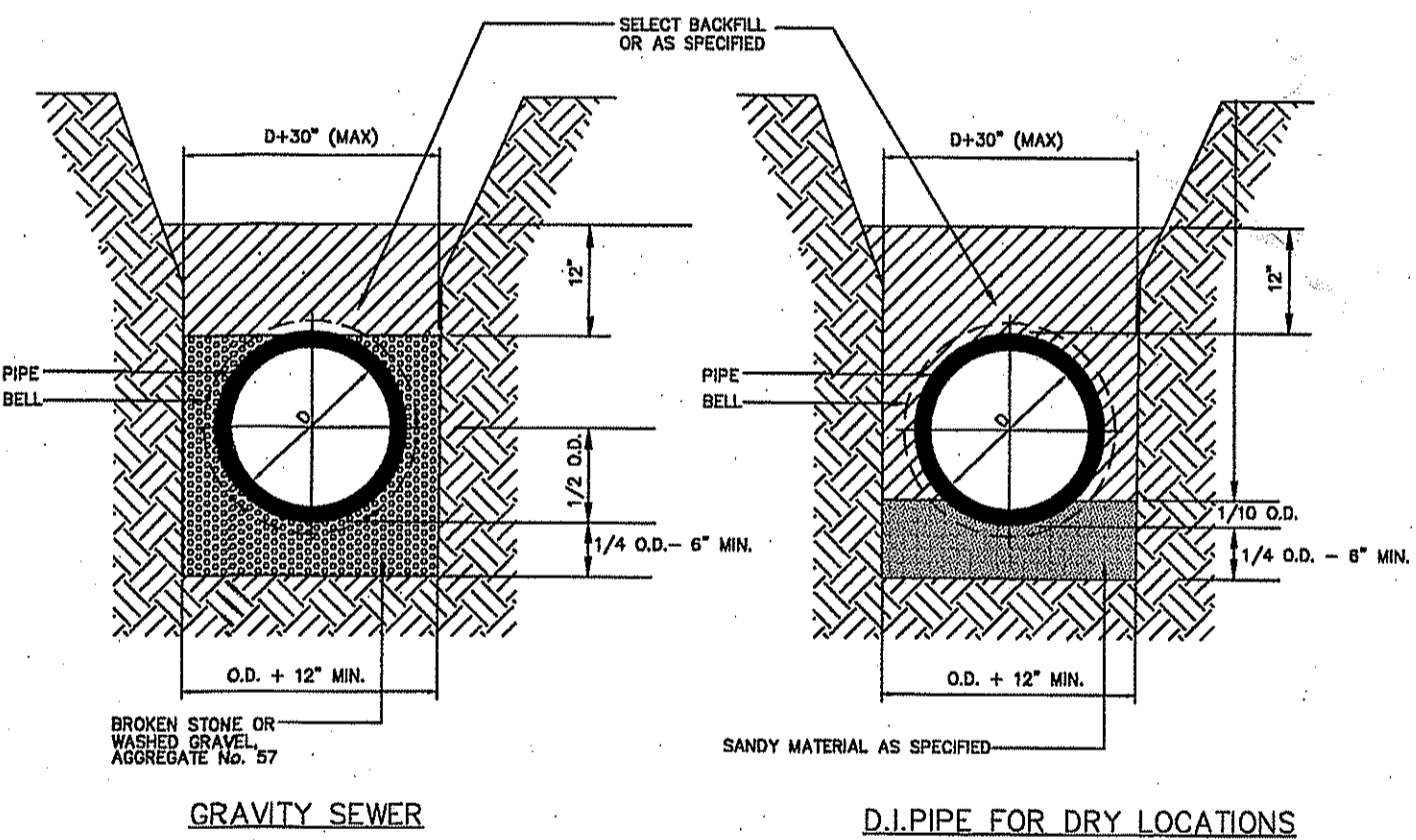
LATERAL CHECK VALVE (COCV)
N.T.S.



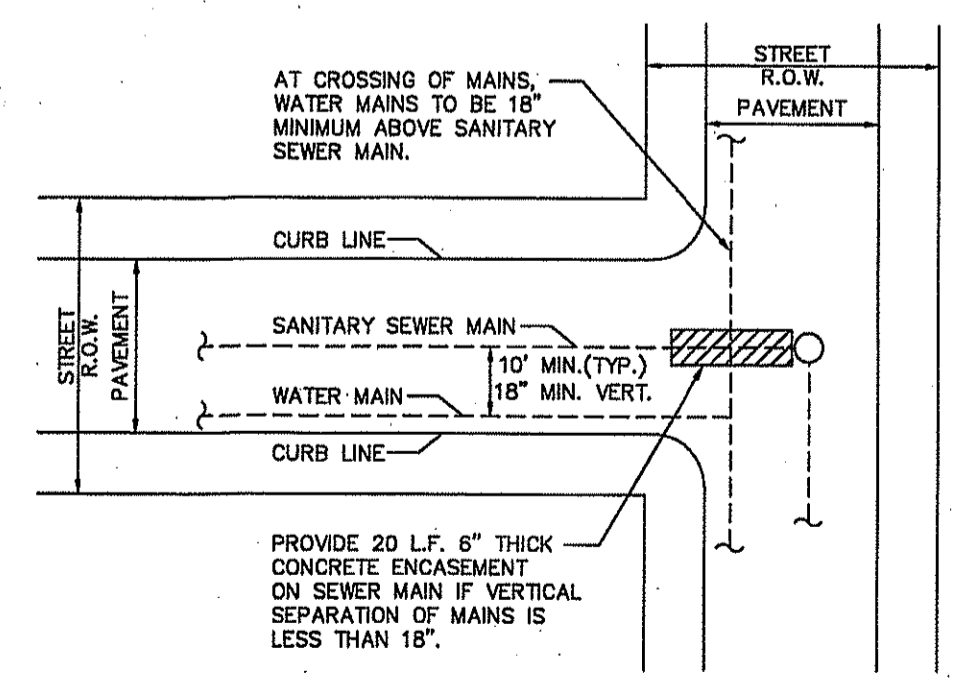
STANDARD SHALLOW MANHOLE
N.T.S.



CONNECTION TO EXISTING MANHOLE
N.T.S.



SANITARY SEWER PIPE BEDDING DETAIL
N.T.S.



TYPICAL LOCATION PLAN OF MAINS
N.T.S.

FINAL FOR SEWER DESIGN & WATER DESIGN

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION CONSTRUCTION DETAILS- 4

DW Smith Greenengineering
Associates, LLC
1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07783 (732) 363-5800 WWW.DWSMITH.COM
ENGINEERS ▽ PLANNERS ▽ SURVEYORS
ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

Carolyn A. Feigin
CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. NO. 24GE0427200

PROJECT No.:	20-314.00
DATE:	MARCH 13, 2019
DESIGNED BY:	C.A.F.
SCALE:	AS SHOWN
DRAWN BY:	P.T.
REVIEWED BY:	C.A.F.
SHEET:	16 OF 16

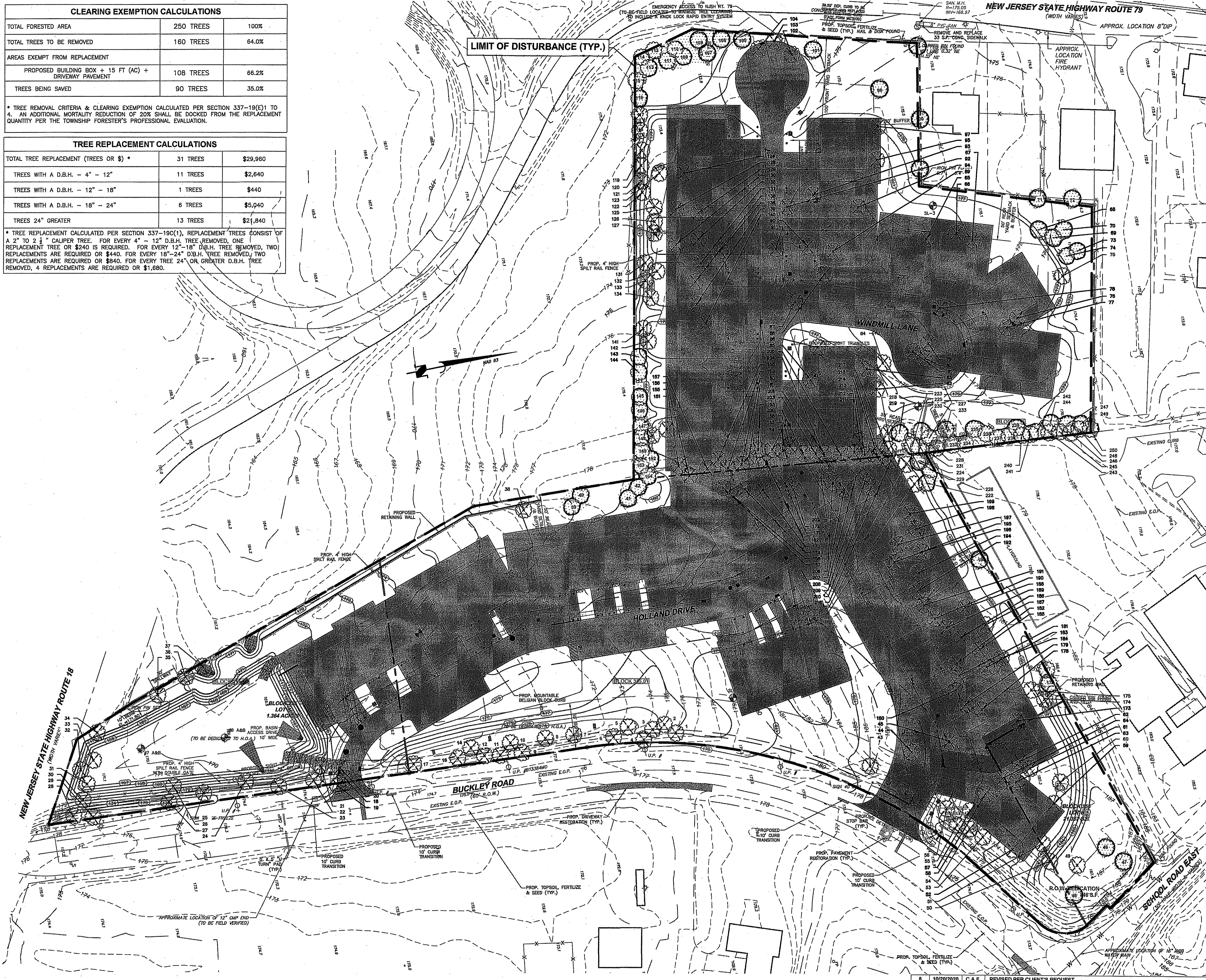
6	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST	20-314.00
5	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST	
4	09/28/2019	C.A.F.	ADDED FINAL SEWER NOTE	
3	08/22/2019	C.A.F.	NO REVISION THIS SHEET	
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME W.M.U.A. LTR. 7/17/19, FSCD LTR. 7/17/19, GORDEN'S CORNER CHECKLIST	
1	06/19/2019	C.A.F.	NO REVISION THIS SHEET	
No.	DATE	BY	DESCRIPTION	REVISIONS

Printed: 10/20/20 10:02 AM By: pucker
File: S:\PROJECTS\2020\20-314\DW\Sheet\CONSTRUCTION DETAILS-4
© 2018 DW SMITH ASSOCIATES, LLC - Greenengineering

CLEARING EXEMPTION CALCULATIONS		
TOTAL FORESTED AREA	250 TREES	100%
TOTAL TREES TO BE REMOVED	160 TREES	64.0%
AREAS EXEMPT FROM REPLACEMENT		
PROPOSED BUILDING BOX + 15 FT (AC) + DRIVEWAY PAVEMENT	108 TREES	66.2%
TREES BEING SAVED	90 TREES	35.0%

TREE REPLACEMENT CALCULATIONS		
TOTAL TREE REPLACEMENT (TREES OR \$) *	31 TREES	\$29,960
TREES WITH A D.B.H. - 4" - 12"	11 TREES	\$2,640
TREES WITH A D.B.H. - 12" - 18"	1 TREES	\$440
TREES WITH A D.B.H. - 18" - 24"	6 TREES	\$5,040
TREES 24" GREATER	13 TREES	\$21,840

* TREE REPLACEMENT CALCULATED PER SECTION 337-19C(1), REPLACEMENT TREES CONSIST OF A 2" TO 2 1/2" CALIPER TREE. FOR EVERY 4" - 12" D.B.H. TREE REMOVED, ONE REPLACEMENT TREE OR \$240 IS REQUIRED. FOR EVERY 12" - 18" D.B.H. TREE REMOVED, TWO REPLACEMENTS ARE REQUIRED OR \$440. FOR EVERY 18" - 24" D.B.H. TREE REMOVED, TWO REPLACEMENTS ARE REQUIRED OR \$840. FOR EVERY TREE 24" OR GREATER D.B.H. TREE REMOVED, 4 REPLACEMENTS ARE REQUIRED OR \$1,680.



- GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING:
 - SURVEY MAP TITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF LOTS 6, 7, & 11, BLOCK 355, TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY", DATED 10/26/2000, LAST REVISED 09/28/2001, PREPARED BY KURTZ ENGINEERS, PLANNERS, LAND SURVEYORS.
 - "BOUNDARY SURVEY, TAX MAP SHEET 96, LOT 8, BLOCK 355, TOWNSHIP OF MARLBORO, NEW JERSEY", DATED 10/11/18, PREPARED BY DW SMITH ASSOCIATES, LLC.
 - A TOPOGRAPHIC MAP PREPARED BY ATLANTIS AERIAL SURVEY CO., INC., DATED 2/10/99, SUPPLEMENTED AND VERIFIED BY DW SMITH FIELD PERSONNEL IN OCTOBER 2018.
 - TOWNSHIP OF MARLBORO TAX MAP SHEET #96, DATED 10/24/2008, LAST REVISED MAY 2009.
 - PROPERTY CONSISTS OF BLOCK 355, LOTS 6, 7, 8 & 11 AS SHOWN ON THE TOWNSHIP OF MARLBORO TAX MAP SHEET #96.
 - PROPERTY IS LOCATED IN C2 NEIGHBORHOOD COMMERCIAL DISTRICT.
 - TOTAL TRACT AREA = 11.33 ACRES.
 - VERTICAL DATUM BASED ON N.A.V.D. 1988.
 - THIS PLAN HAS BEEN PREPARED FOR PRELIMINARY AND FINAL MAJOR SUBDIVISION APPROVAL OF 26 SINGLE FAMILY UNITS AND 19 TOWNHOUSE UNITS, STORMWATER MANAGEMENT FACILITIES, UTILITIES, LANDSCAPING, LIGHTING, PARKING AND OTHER APPURTENANCES.
 - THE SITE IS DIVIDED BETWEEN ONE (1) PRIMARY FOREST TYPES. THE PORTIONS ARE LABELED AS FOREST TYPE "A" UPON THE PLANS. FOREST TYPE "A" CONSISTS OF THE FOLLOWING DOMINANT SPECIES: ASH - *FRAXINUS*, BLACK LOCUST - *ROBINIA PSEUDOACACIA*, BLACK CHERRY - *PRUNUS SEROTINA* & MAPLE - *ACER*. SECONDARY SPECIES INCLUDE: NORWAY SPRUCE - *PICEA ABIES*, WHITE PINE - *PINUS STROBUS* & TREE OF HEAVEN - *AILANTHUS ALTISSIMA*.
 - THE APPLICANT SHALL APPLY FOR A TREE REMOVAL PERMIT PRIOR TO ANY SITE DISTURBANCE IN ACCORDANCE WITH ORDINANCE SECTION 337-15A.
 - THE TOWNSHIP FORESTER SHALL BE CONTACTED TO REVIEW INDIVIDUAL LOTS IN THE FIELD PRIOR TO LAND CLEARING OPERATIONS TO DETERMINE IF ADDITIONAL TREES MAY BE SAVED AND IF TREES TO REMAIN ARE IN GOOD CONDITION.
 - TOTAL LIMIT OF DISTURBANCE 11.3 ACRES
 - THE FORESTER SHALL BE NOTIFIED AND BE ON SITE WHEN TREE CLEARING IS TAKING PLACE.

LEGEND

- TREES TO BE REMOVED
- TREES TO BE SAVED
- TREES TO BE EXEMPT
- LIMIT OF DISTURBANCE
- TREE PROTECTION

K. HOVNANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
TREE SAVE PLAN

DW Smith
 Associates, LLC
 1450 STATE ROUTE 34
 WALL TOWNSHIP, NJ 07753
 (732) 985-8860
 WWW.DWSMITH.COM

ENGINEERS • PLANNERS • SURVEYORS
 ENVIRONMENTAL SERVICES • COMMUNITY ASSN. SERVICES • LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

No.	DATE	BY	DESCRIPTION
8	10/03/2020	C.A.F.	REVISED PER CLIENT'S REQUEST
7	09/22/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
6	02/18/2020	C.A.F.	REVISED FOR NDOT APPLICATION ADDITIONAL ITEMS
5	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/03/2020 TO SPLIT BASIN OUTFALL
4	11/28/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
3	08/29/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/23/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMLA LTR. 7/18/19, FSCD LTR. 7/18/19, GORDEN'S CORNER CHECKLIST
1	06/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MTZB ENGINEER'S LETTER DATED 6/17/19

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 24GE04247200

PROJECT No.: 20-314.00
 DATE: MARCH 13, 2019
 DESIGNED BY: SCALE: 1"=50'
 JKND
 DRAWN BY: REVIEWED BY:
 N.D. C.A.F.
 SHEET: 1 OF 2

Plotfile: 10/23/20 - R.32 AM, Bk. checker
 File: S:\PROJECTS\2020\20-314\CAD\GENSETS\C-20-31400-TSP.dwg - TREE SAVE PLAN
 © 2018 DW SMITH ASSOCIATES, LLC - Greenengineering

TREE INVENTORY - TREES 9" OR GREATER TO BE REMOVED
LOT 6, 7, 8 & 11 BLOCK 355,
MARLBORO TOWNSHIP, NJ

Table with 7 columns: ID #, COMMON NAME, SCIENTIFIC NAME, D.B.H. (Inches), TBR, Rate of Replacement. Lists 43 trees for removal, including Black Cherry, Blue Spruce, Maple, Black Locust, White Pine, Ash, Norway Spruce, Fir, and Mulberry.

TREE INVENTORY - TREES 9" OR GREATER TO BE REMOVED
LOT 6, 7, 8 & 11 BLOCK 355,
MARLBORO TOWNSHIP, NJ

Table with 7 columns: ID #, COMMON NAME, SCIENTIFIC NAME, D.B.H. (Inches), TBR, Rate of Replacement. Lists 68 trees for removal, including Blue Spruce, Maple, White Pine, Black Locust, Ash, Norway Spruce, Fir, and Mulberry.

TREE INVENTORY - TREES 9" OR GREATER TO BE REMOVED
LOT 6, 7, 8 & 11 BLOCK 355,
MARLBORO TOWNSHIP, NJ

Table with 7 columns: ID #, COMMON NAME, SCIENTIFIC NAME, D.B.H. (Inches), TBR, Rate of Replacement. Lists 131 trees for removal, including Pin Oak, Beech, Maple, Black Locust, White Pine, Ash, Norway Spruce, Fir, and Mulberry.

TREE INVENTORY - TREES 9" OR GREATER TO BE REMOVED
LOT 6, 7, 8 & 11 BLOCK 355,
MARLBORO TOWNSHIP, NJ

Table with 7 columns: ID #, COMMON NAME, SCIENTIFIC NAME, D.B.H. (Inches), TBR, Rate of Replacement. Lists 176 trees for removal, including Ash, Tulip, Maple, Black Locust, White Pine, Ash, Norway Spruce, Fir, and Mulberry.

TREE INVENTORY - TREES 9" OR GREATER TO BE REMOVED
LOT 6, 7, 8 & 11 BLOCK 355,
MARLBORO TOWNSHIP, NJ

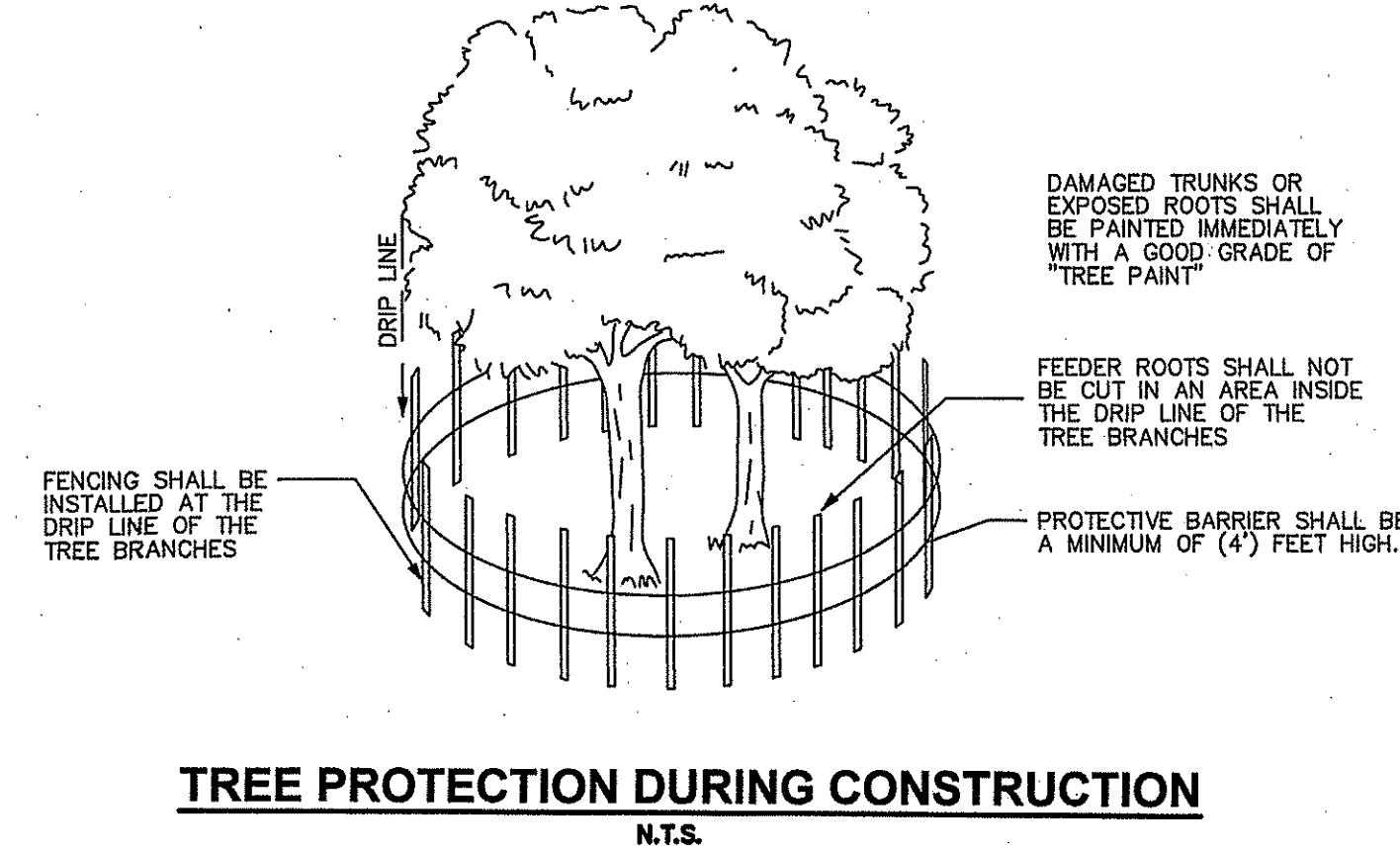
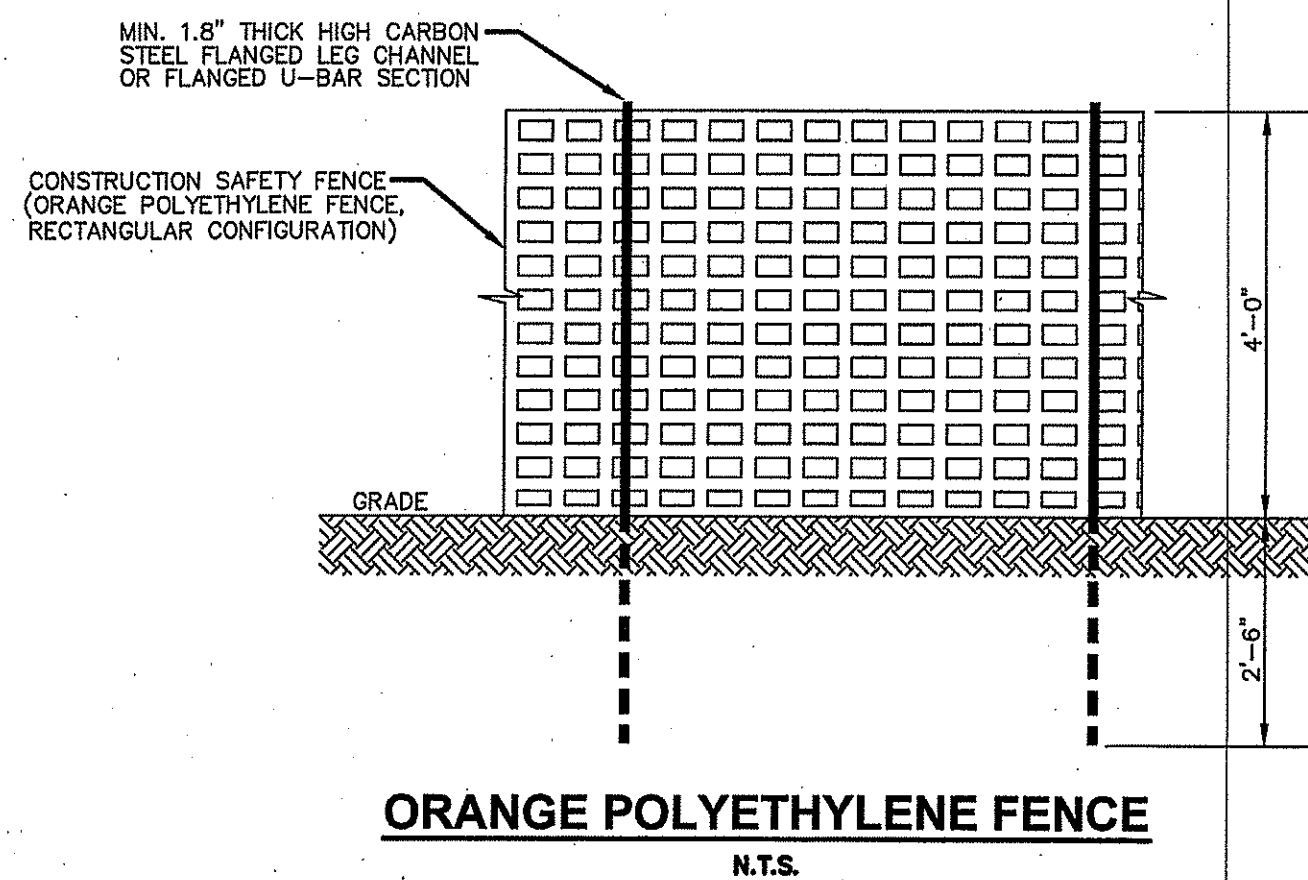
Table with 7 columns: ID #, COMMON NAME, SCIENTIFIC NAME, D.B.H. (Inches), TBR, Rate of Replacement. Lists 219 trees for removal, including Elm, Maple, Black Cherry, Pin Oak, Black Locust, White Pine, Ash, Norway Spruce, Fir, and Mulberry.

TREE INVENTORY - TREES 9" OR GREATER TO BE REMOVED
LOT 6, 7, 8 & 11 BLOCK 355,
MARLBORO TOWNSHIP, NJ

Table with 7 columns: ID #, COMMON NAME, SCIENTIFIC NAME, D.B.H. (Inches), TBR, Rate of Replacement. Lists 260 trees for removal, including Elm, Black Cherry, Pin Oak, Black Locust, White Pine, Ash, Norway Spruce, Fir, and Mulberry.

*TREES #1 THROUGH #17 ARE UNDESIRABLE SPECIES AND IN POOR CONDITION AND WERE REQUESTED TO BE REMOVED UNDER THE DIRECTION OF THE TOWNSHIP FORESTER. TWENTY-ONE (21) STREET TREES SHALL BE PROVIDED ALONG BUCKLEY ROAD AS REPLACEMENTS.

TREE REMOVAL SUMMARY table showing counts for trees to be removed and replacement trees provided. Includes a note on total diameter of trees T.B.R. (Inches) as 3,010.0 inches.

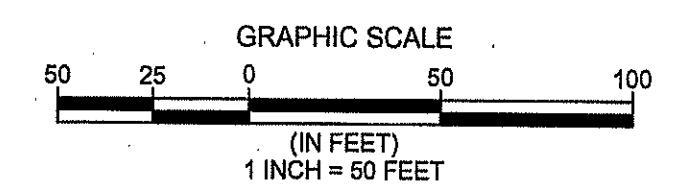
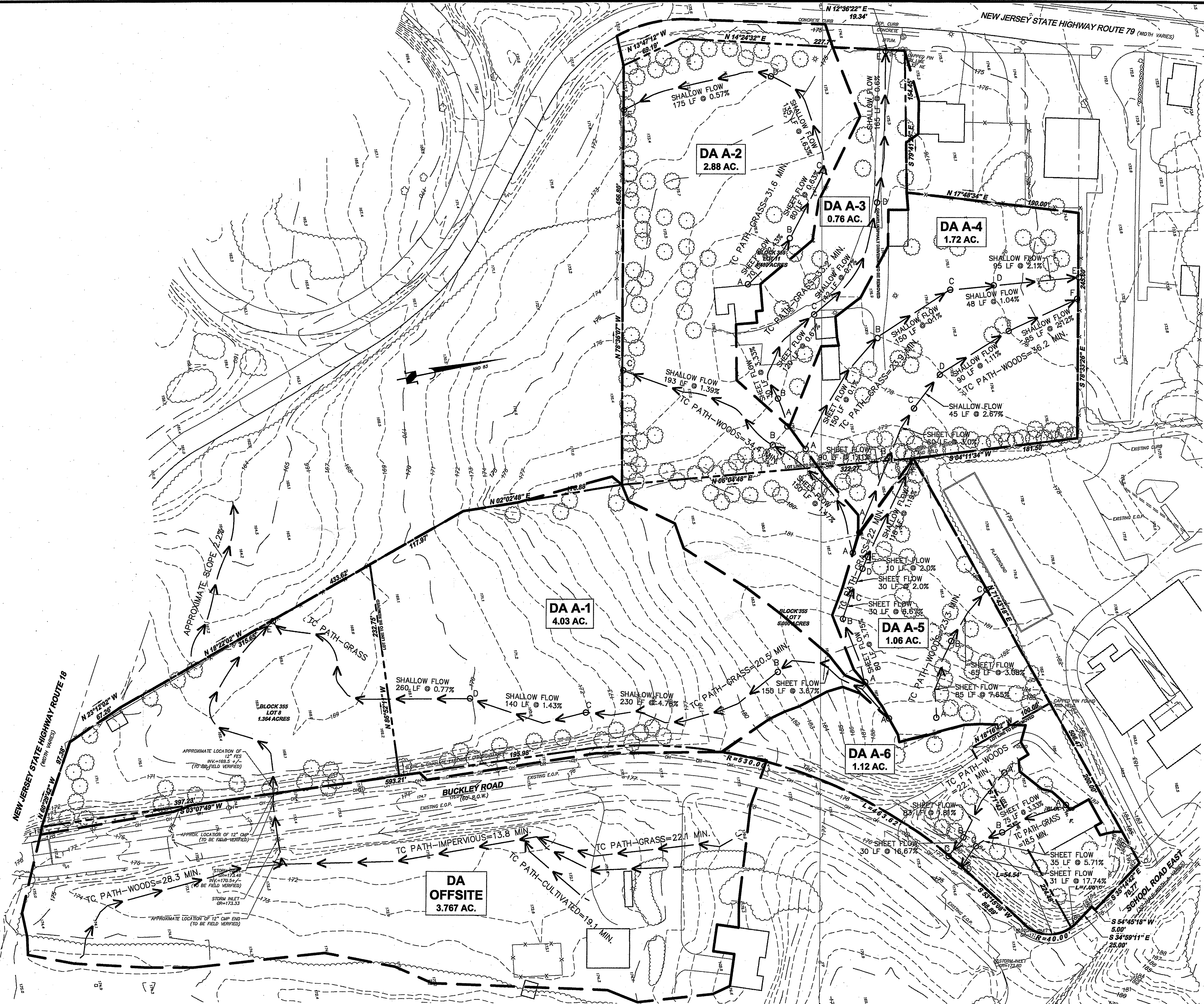


Revision table with 5 columns: No., DATE, BY, DESCRIPTION, REVISIONS. Lists 4 revisions dated from 10/20/2020 to 09/19/2019.

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No.96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL
MAJOR SUBDIVISION
TREE SAVE CHARTS

DW Smith Greengineering Associates, LLC logo and contact information. Address: 1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07783. Phone: (732)363-8860. Website: WWW.DWSMITH.COM. Services: ENGINEERS, PLANNERS, SURVEYORS, ENVIRONMENTAL SERVICES, COMMUNITY ASSN. SERVICES, LANDSCAPE ARCHITECTS. NJ Certificate of Authorization 24GA28122400.

Professional Engineer seal for Carolyn A. Feigin, N.J. P.E. No. 24GE04247200. Project information: PROJECT No.: 20-314.00, DATE: MARCH 13, 2019, DESIGNED BY: JKND, SCALE: N.T.S., DRAWN BY: N.D., REVISIONS: C.A.F., SHEET: 2 OF 2.



THIS DRAWING ONLY VALID FOR
DRAINAGE AREAS
 ALL OTHER DATA FOR INFORMATION PURPOSES ONLY

K. HOVNIANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL
MAJOR SUBDIVISION
PRE DEVELOPMENT DRAINAGE AREA MAP

DW Smith
 Associates, LLC
 1450 STATE ROUTE 34
 WALL TOWNSHIP, NJ 07783
 (732) 363-6650
 WWW.DWSMITH.COM

ENGINEERS ▾ PLANNERS ▾ SURVEYORS
 ENVIRONMENTAL SERVICES ▾ COMMUNITY ASSN. SERVICES ▾ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

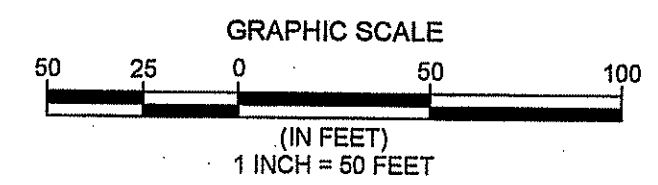
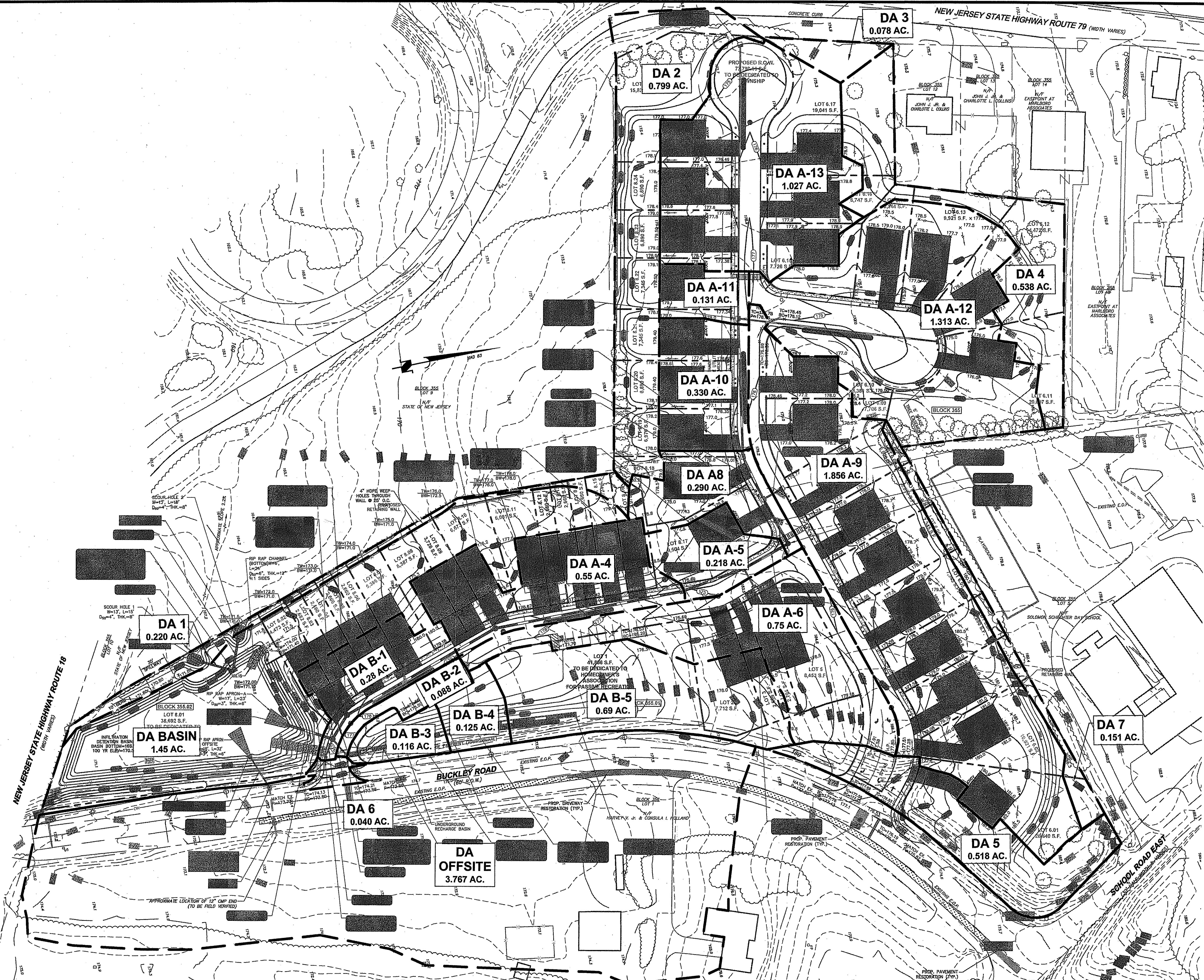
Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 24GE04247200

PROJECT No.: 20-314.00
 DATE: MARCH 13, 2019
 DESIGNED BY: SCALE:
 C.A.F. NO REVISION THIS SHEET 1" = 50'
 DRAWN BY: P.T. REVIEWED BY:
 C.A.F. C.A.F.
 SHEET: **DA1** OF: **DA2**

7	10/20/2020	C.A.F.	REVISED PER CLIENT'S REQUEST
6	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
5	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL

4	11/29/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/17/2019 AND SITE VISIT ON 11/22/2019
3	08/29/2019	C.A.F.	NO REVISION THIS SHEET
2	08/09/2019	C.A.F.	NO REVISION THIS SHEET
1	06/19/2019	C.A.F.	NO REVISION THIS SHEET
No.	DATE	BY	DESCRIPTION
			REVISIONS

Printed: 10/20/20 10:13 AM, By: pttucker
 File: S:\Projects\2020\20-314\DW-Smith-Pre-Development-DRAINAGE AREA MAP
 © 2018 DW SMITH ASSOCIATES, LLC - GreenEngineering®



THIS DRAWING ONLY VALID FOR
DRAINAGE AREAS
 ALL OTHER DATA FOR INFORMATION PURPOSES ONLY

K. HOVNANIAN AT MARLBORO PLACE
 BLOCK 355, LOTS 6, 7, 8 & 11
 TAX MAP SHEET No.96
 MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL
MAJOR SUBDIVISION
POST DEVELOPMENT DRAINAGE AREA MAP

DW Smith
 Associates, LLC
Greenengineering
 ENGINEERS ▽ PLANNERS ▽ SURVEYORS
 ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

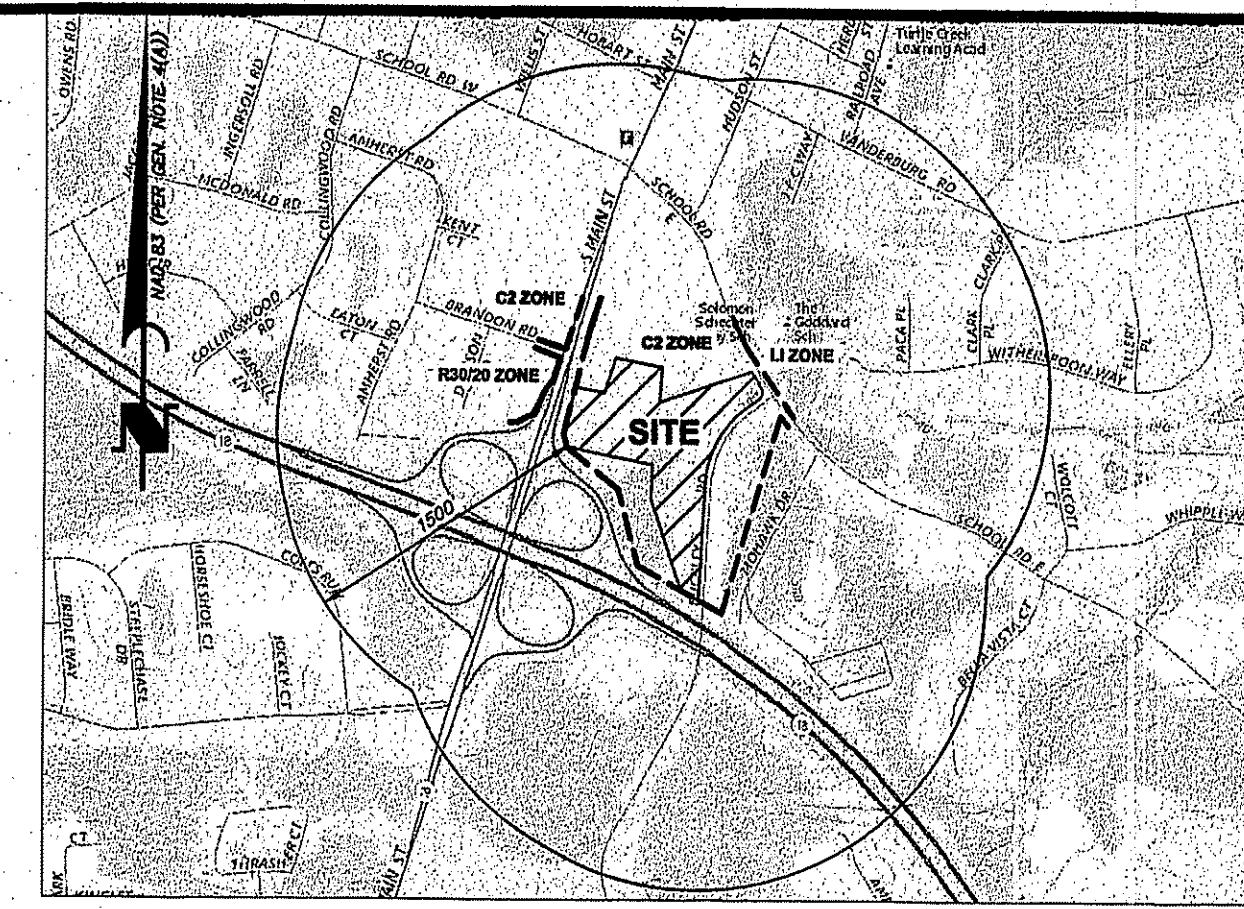
1450 STATE ROUTE 34
 WALL TOWNSHIP, NJ 07753
 (732)383-5850
 WWW.DWSMITH.COM

Carolyn A. Feigin
CAROLYN A. FEIGIN
 PROFESSIONAL ENGINEER
 N.J. P.E. No. 24GE04247200

PROJECT No.: 20-314.00
 DATE: MARCH 13, 2019
 DESIGNED BY: SCALE: 1" = 60'
 C.A.F.
 DRAWN BY: REVIEWED BY: C.A.F.
 P.T.
 SHEET: DA2 OF: DA2

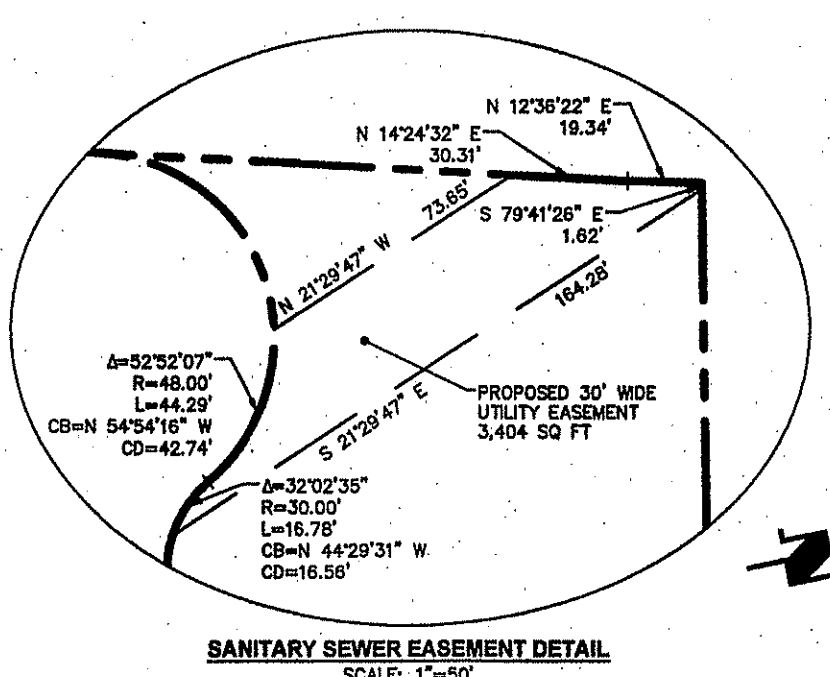
No.	DATE	BY	DESCRIPTION
9	10/23/2020	C.A.F.	ADDED CONSTRUCTION TRAILER, MODELS, & SALES TRAILER PER CLIENT'S REQUEST
8	10/20/2020	C.A.F.	REV. TOWNHOME PRODUCT, LOT LINES & ASSOC. IMPROVEMENTS PER CLIENT'S REQUEST
7	02/18/2020	C.A.F.	REVISED FOR NJDOT APPLICATION ADDITIONAL ITEMS
6	02/03/2020	C.A.F.	REVISED PER MEETING WITH FSCD 01/30/2020 TO SPLIT BASIN OUTFALL
5	11/28/2019	C.A.F.	REVISED PER FSCD LETTER DATED 11/7/2019 AND SITE VISIT ON 11/22/2019
4	11/19/2019	C.A.F.	EXTENDED WATER MAIN PER GORDON'S CORNER REQUEST
3	08/28/2019	C.A.F.	REVISED PER CME COMMENTS DATED 08/28/2019
2	08/09/2019	C.A.F.	REV. PER CME LTR. 7/17/19, CME WMA LTR. 7/10/19, FSCD LTR. 7/10/19, GORDON'S CORNER CHECKLIST
1	06/19/2019	C.A.F.	REVISED FOR RESOLUTION COMPLIANCE AND PER MITZB ENGINEER'S LETTER DATED 5/17/19

Plotted: 10/23/20 8:27 AM By: jhulster
 File: \\prodvs01\dw\20-314\20-314-00-POD.dwg-POST DEVELOPMENT DRAINAGE AREA MAP
 © 2018 DW SMITH ASSOCIATES, LLC - Greenengineering



CURVE TABLE with columns for Curve No., Delta, Length, Radius, Chord Bearing, and Chord Length. Includes curves C1 through C22.

C2 - NEIGHBORHOOD COMMERCIAL DISTRICT BULK REQUIREMENTS MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY. Table with columns for DESCRIPTION, REQUIRED, and PROPOSED. Includes requirements for minimum tract area, number of units, impervious coverage, etc.

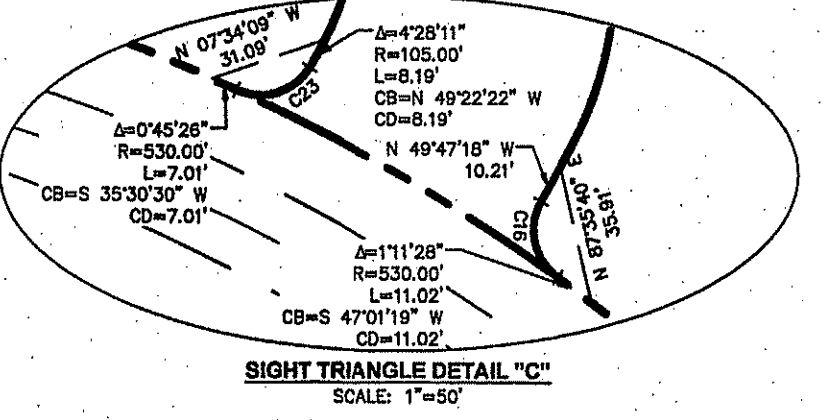
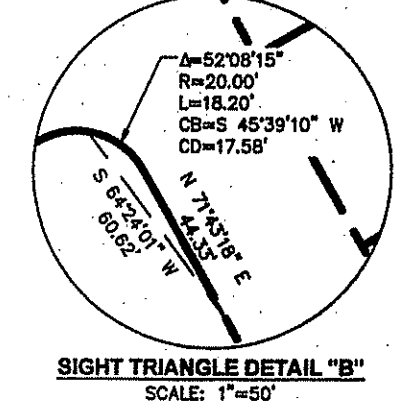
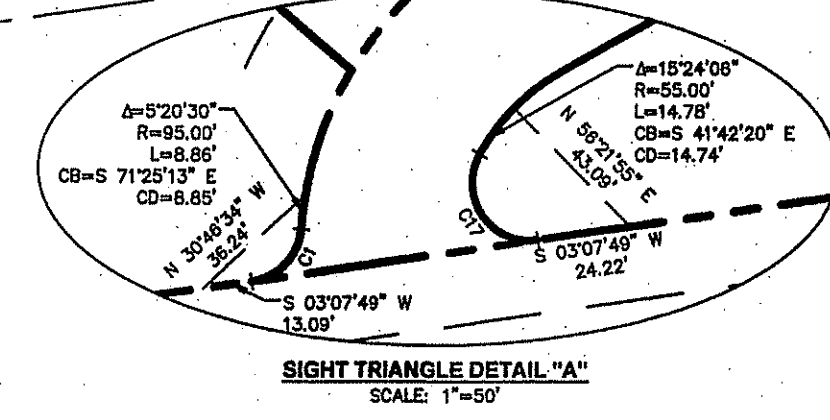
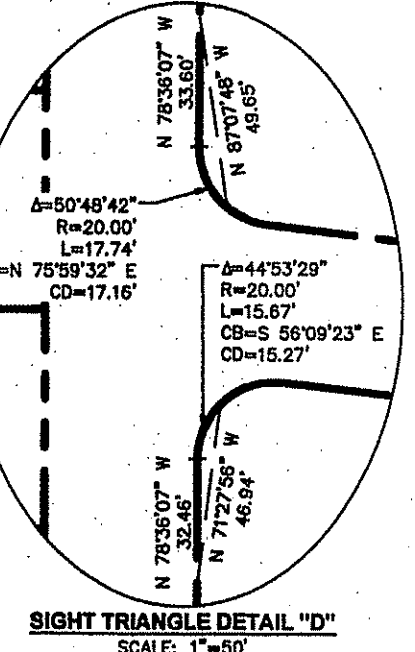
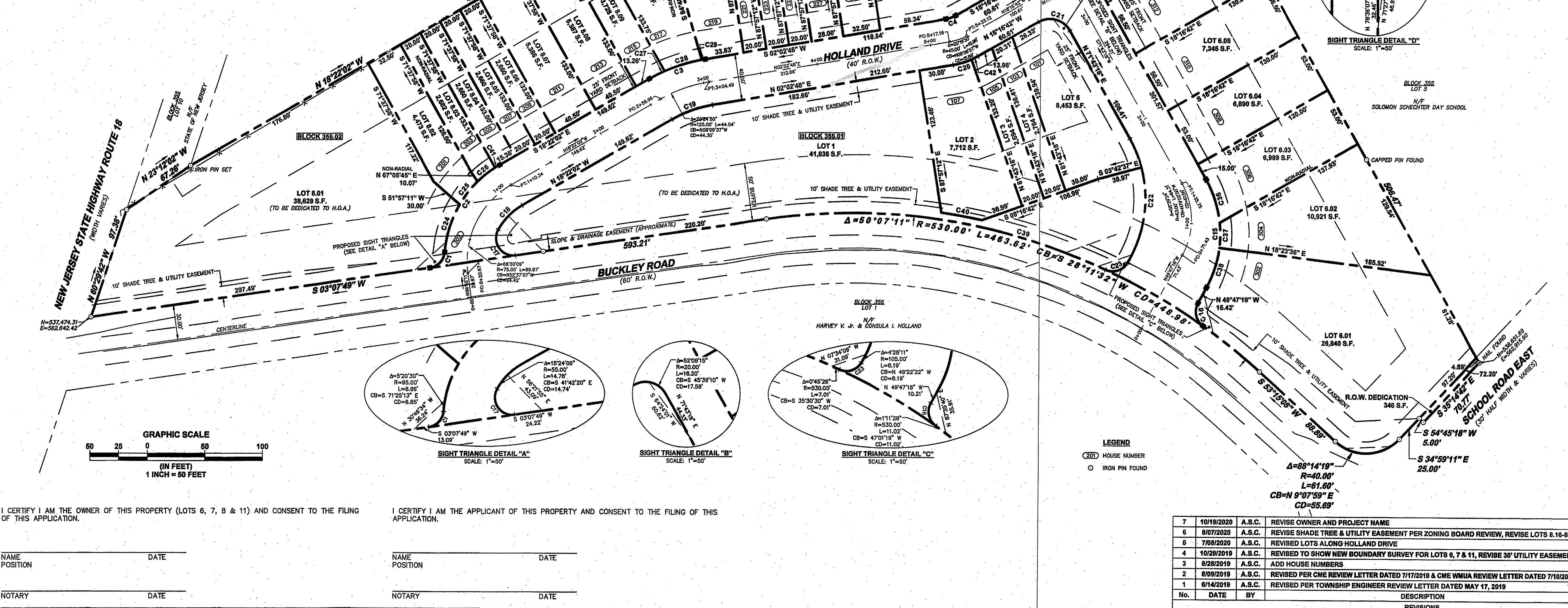


I HEREBY CERTIFY THAT THE ZONING BOARD OF THE TOWNSHIP OF MARLBORO HAS APPROVED THE PROPOSED STREET SHOWN HEREON...

DATE MARLBORO TOWNSHIP CLERK
I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP FILING LAW...
DATE MARLBORO TOWNSHIP ENGINEER
APPROVED BY MARLBORO TOWNSHIP ZONING BOARD

CLASSIFIED AND APPROVED AS A MAJOR SUBDIVISION BY THE MARLBORO TOWNSHIP ZONING BOARD OF ADJUSTMENT RESOLUTION #19-6683 AND SHALL BE FILED ON OR BEFORE WHICH DATE IS 95 DAYS AFTER THIS PLAT WAS SIGNED BY THE TOWNSHIP OF MARLBORO ZONING BOARD.

DATE CHAIRMAN
DATE SECRETARY



LEGEND
HOUSE NUMBER
IRON PIN FOUND

Table with columns: No., DATE, BY, DESCRIPTION, REVISIONS. Lists revision history for the plat.

- GENERAL NOTES:
1. OWNER/APPLICANT: K. HOVNANIAN AT MARLBORO PLACE, LLC...
2. THE PROPERTY IS KNOWN AS LOTS 6, 7, 8 & 11, BLOCK 355...
3. AREA OF ENTIRE TRACT=11.334 ACRES, MORE OR LESS.
4. OUTBOUND INFORMATION IN ACCORDANCE WITH THE FOLLOWING:
A. PLAN ENTITLED 'BOUNDARY SURVEY, BLOCK 355, LOTS 6, 7 & 11, TAX MAP SHEET 96, MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY'...
B. PLAN ENTITLED 'BOUNDARY SURVEY, TAX MAP SHEET 96, LOT 6, BLOCK 355, TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY'...
C. TOWNSHIP OF MARLBORO TAX MAP SHEET 96.
5. HORIZONTAL DATUM IS NAD 83.
6. TOTAL NUMBER OF LOTS: 48
BUILDING LOTS: 45
NON-BUILDING LOTS: 3
7. UNDERGROUND IMPROVEMENTS AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
8. SIGHT TRIANGLES SHOWN HEREON ADHERE TO R.S.I.S. & A.A.S.H.T.O. STANDARDS.
9. PROPOSED TAX LOT NUMBERS SHOWN PER MARLBORO TOWNSHIP TAX ASSESSOR REVIEW LETTER DATED JUNE 5, 2019.
10. ■ DENOTES PROPOSED MONUMENT TO BE SET (TOTAL 20 MONUMENTS).
11. THERE ARE NO NON-TANGENT BOUNDARY LINES PROPOSED.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED JUNE 7, 2019, MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS, WITH OUTBOUND CORNERS MARKED, AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF THE MAP FILING LAW...
I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE PROVISIONS OF THE MAP FILING LAW.

K. HOVNANIAN AT MARLBORO PLACE
BLOCK 355, LOTS 6, 7, 8 & 11
TAX MAP SHEET No. 96
MARLBORO TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY
AMENDED PRELIMINARY & FINAL MAJOR SUBDIVISION
MAJOR SUBDIVISION PLAT

DW Smith Greenengineering Associates, LLC
1450 STATE ROUTE 34 WALL TOWNSHIP, NJ 07733 (732)363-5850 WWW.DWSMITH.COM
ENGINEERS PLANNERS SURVEYORS
ENVIRONMENTAL SERVICES COMMUNITY ASSN. SERVICES LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24G02122400

PROFESSIONAL ENGINEER & LAND SURVEYOR
N.J. P.E. & P.L.S. No. 24G03386409
N.Y. P.L.S. No. 050221-2 PA. P.L.S. No. SJ078234
PROJECT No.: 18-191.01
DATE: JUNE 7, 2019
SCALE: 1" = 50'
DRAWN BY: A.S.C.
REVIEWED BY: K.J.M.
SHEET: 1 OF 1