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INSULATION

CEILING W/ ATTIC: R-38
 ABOVE GRADE WALLS: R-19
 RIM BOARD: R-10
 FOUNDATION WALLS (CONDITIONED): R-13
 FOUNDATION WALLS (UNCONDITIONED): NONE
 FLOORS: R-30
 SLAB FLOORS (UNINSULATED SLAB): U-0.365
 WINDOWS: U-0.33, SHGC-0.29

SHEET NUMBERING KEY

B-1.1-1

DISCIPLINE/FORM	LEVEL	FOUNDATION TYPE	PAGE # (IF APPLICABLE)
(CS) COVERSHEET	(1) ELEVATIONS	(6) SLAB ON GRADE	1
FORM (B) (C) (E) (F)	(2) FLOOR PLANS	(1) PARTIAL BASEMENT	2
(AO) ARCHITECTURAL OPTION	(3) FOUNDATIONS	(2) CRAWL SPACE	3
(AOC) ARCHITECTURAL OPTION COMBINATION	(4) BLDG. SECTION	(3) FULL BASEMENT	4
(MO) MINOR OPTION		(4) RAISED BASEMENT	
(PO) PORCH OPTION		(7) DAYLIGHT	
(POC) PORCH OPTION COMBINATION	OR	(6) WALKOUT	
(GO) GARAGE OPTION	OPTION #		
(E) ELECTRICAL	CODED TO A SPECIFIC OPTION AT OPTION DISCIPLINES		
(EO) ELECTRICAL OPTION			
(P) PLUMBING			
(R) REVISION LOG			

GENERAL

- THESE PLANS AND SPECIFICATIONS ARE SOLE PROPERTY OF K. HOVNANIAN HOMES. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF K. HOVNANIAN HOMES IS PROHIBITED.
- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, COUNTY, AND CITY ZONING, BUILDING, ELEC., MECH., PLUMBING, AND FIRE CODES. PRIME SUB CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE BUILDER.
- PRIME SUB CONTRACTOR SHALL BRING ANY ERRORS AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE BUILDER IN WRITING. WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY CONSTRUCTION OR FABRICATION WORK.
- EMERGENCY ESCAPE AND RESCUE OPENINGS: ALL WINDOWS SHOULD BE INSTALLED SO THE LOWEST PART OF CLEAR WINDOW OPENING IS NOT LESS THAN 24" ABOVE THE FINISHED FLOOR AS PER GOVERNING CODE. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM OPENING 5.7 SQ FT AND COMPLY WITH REQUIREMENTS OF GOVERNING CODE.
- WINDOW SILLS: WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, WINDOW CLEAR OPENING SHALL BE MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR.

SITE WORK

- FOR PRESUMPTIVE SOIL BEARING CAPACITY ON UNDISTURBED SOIL AND FOR LIQUID EARTH PRESSURE SEE CS-1.
- MINIMUM SOIL BEARING CAPACITY SHALL BE AS NOTED ON STRUCTURAL PLANS.

METALS

- FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL.
- HANGERS, FRAMING ANCHORS AND FASTENERS: PROVIDE AND INSTALL TYPE INDICATED ON STRUCTURAL PLAN AS REQUIRED. NAILS TO BE AS SPECIFIED BY MANUFACTURER FOR THEIR SPECIFIC USE. NAILS SHALL BE DRIVEN IN ALL HOLES IN THE ANCHOR.
- THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH GOVERNING CODE.
- STEEL COLUMNS SHALL BE INSTALLED AS PER GOVERNING CODE.
- STRUCTURAL STEEL - A.S.T.M. A36

THERMAL & MOISTURE PROTECTION

- ATTIC SPACES SHALL BE VENTILATED WITH RIDGE AND SOFFIT VENTS UNLESS OTHERWISE NOTED. VENTING PROVIDED AS PER GOVERNING CODE.
- FIRESTOPPING SHALL BE INSTALLED AS PER GOVERNING CODE.

CONCRETE (FOUNDATIONS)

- COMPRESSIVE STRENGTH OF CONCRETE SHALL BE PROVIDED AS PER GOVERNING CODE.
- PERIMETER INSULATION ON GRADE SLAB CONDITION SHALL BE AS PER STRUCTURAL PLANS.
- FOUNDATION DRAINAGE SHALL CONFORM WITH APPROVED SITE PLAN AND INSTALLED PER GOVERNING CODE.
- SUMP PUMP SHALL BE INSTALLED PER GOVERNING CODE WHEN REQUIRED.
- CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE DAMPPROOFED/WATERPROOFED PER GOVERNING CODE.
- REFER TO STRUCTURAL PLANS FOR FOUNDATION FRAMING ANCHORS INFORMATION.

MECHANICAL / ELECTRICAL / PLUMBING

- SUB CONTRACTOR SHALL CLOSELY EXAMINE FIELD CONDITIONS AND COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH STRUCTURAL ELEMENTS AS WELL AS HVAC, PLUMBING AND ELECTRICAL COMPONENTS.
- WHERE REQUIRED BY LOCAL JURISDICTION, A PASSIVE SUB-SLAB VENTING SYSTEM SHALL BE INSTALLED PER CODE.
- MECHANICAL FIREPLACES SHALL BE INSTALLED PER GOVERNING CODE.

VENTILATION

R806.1 VENTILATION REQUIRED.
 ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. VENTILATING OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R802.2. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

R806.2 MINIMUM VENT AREA.
 THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

- IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
- AT LEAST 40 PERCENT AND NOT MORE THAN 60 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

R806.3 VENT AND INSULATION CLEARANCE.
 WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH (25 MM) SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

R806.4 INSTALLATION AND WEATHER PROTECTION.
 VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R703.1. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R703.1.

GENERAL

5 2 4 5

9'-0" 1ST FLOOR / 8'-0" 2ND FLOOR

CODE CONFORMANCE NOTES

IRC 2018
IECC 2018

USE GROUP: R5
 CONSTRUCTION CLASSIFICATION: 5B
 HEIGHT & AREA LIMITATION OF BLDG.: TWO (2) STORY 35'-0" H. 4800 S.F. FLR MAX.

SITE WORK

- FOR PRESUMPTIVE SOIL BEARING CAPACITY ON UNDISTURBED SOIL AND FOR LIQUID EARTH PRESSURE SEE CS-1.
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BROOKDALE NEW JERSEY MARLBORO PLACE

E1# DESCRIPTION

5 2 4 5 9'-0" 1ST FLOOR / 8'-0" 2ND FLOOR

CODE CONFORMANCE NOTES

IRC 2018
IECC 2018

USE GROUP: R5
 CONSTRUCTION CLASSIFICATION: 5B
 HEIGHT & AREA LIMITATION OF BLDG.: TWO (2) STORY 35'-0" H. 4800 S.F. FLR MAX.

AREA & VOLUME COMPUTATION

	AREA IN SQUARE FEET	VOLUME IN CUBIC FEET			
		8'-0" CEILING	9'-0" CEILING	CORNER	ATTIC
FIRST FLOOR LIVING					
FORMS B/C	1,288		12,880		
FORM F	1,276		12,760		
FORMS B/C/F - ALT. ENTRY	1,338		13,380		
SECOND FLOOR LIVING					
FORM B	1,711	13,688		9,701	
FORM C	1,697	13,576		9,418	
FORM F	1,725	13,800		9,781	
FULL BASEMENT					
FORMS B/C	1,288	11,502			
FORM F	1,276	11,484			
FORMS B/C/F - ALT. ENTRY	1,338	12,042			
GARAGE					
FORMS B/C/F	469			5,508	
MAJOR OPTIONS					
EXTENDED GREAT ROOM (FIRST FLOOR LIVING)	+115		+1,035		+152
EXTENDED GREAT ROOM (FULL BASEMENT)	-115		-1,035		

TOTAL STANDARD LIVING

FORM B	2,099				
FORM C	2,085				
FORM F	3,001				
FORM B - ALT. ENTRY	3,048				
FORM C - ALT. ENTRY	3,035				
FORM F - ALT. ENTRY	3,051				

SITE CONDITIONS

WIND SPEED	120 MPH
EXPOSURE	D
GROUND SNOW LOAD	25 PSF
SOIL BEARING CAPACITY	3000 PSF
LIQUID SOIL PRESSURE	45 PCF
FROST DEPTH	36"

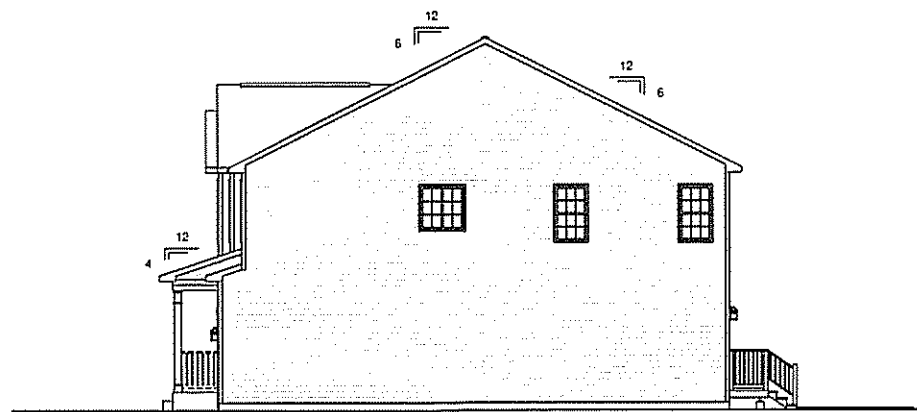
DETAIL RELEASE 3

A-22

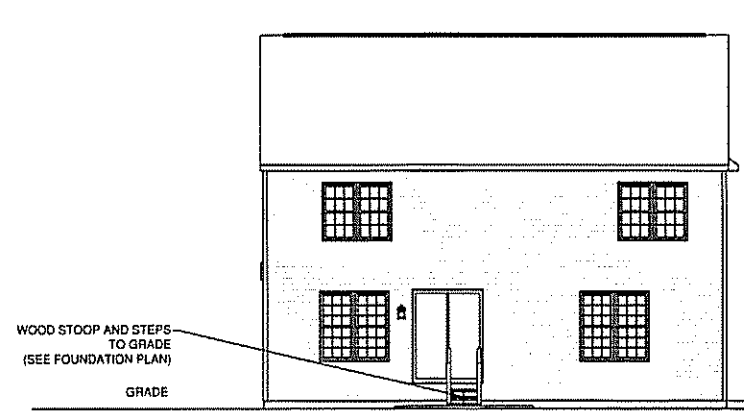
DESIGNATIONS

	INTERIOR ELEVATION		DETAIL NUMBER		REVISION NUMBER
	ELEVATION NO.		SHEET NUMBER		SECTION NUMBER
	ELEVATION NO.		DETAIL ENLARGEMENT		SHEET NUMBER
	DATUM ELEVATION		VIEW NUMBER		SHEET NUMBER
	F.B. CHANGE OF FLOOR FINISH		SHEET NUMBER		BUILDING SECTION

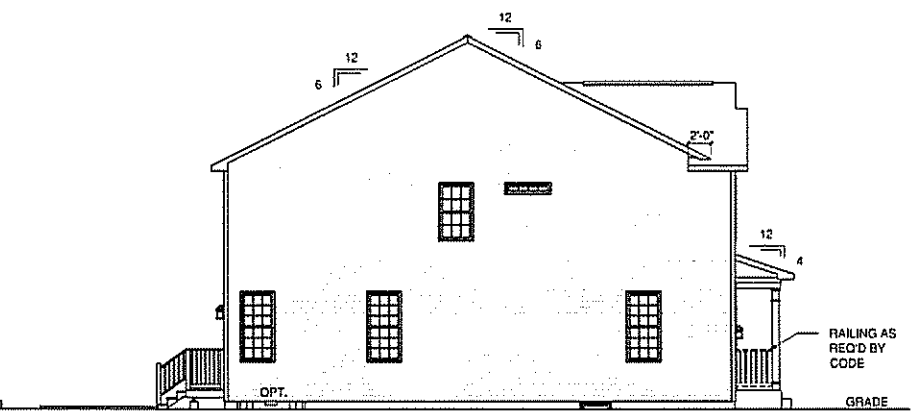
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 USE CASE #:
 SIGNATURE: Dawn Korbelak
 RELEASE DATE: 10/16/2020
 SHEET VERSION #: 2
 HOME STYLE:
 MODEL: BROOKDALE R2
 DRAWING TITLE: COVER SHEET - NEW JERSEY
 SHEET NO.: CS1
 CS1.NJ-HS3



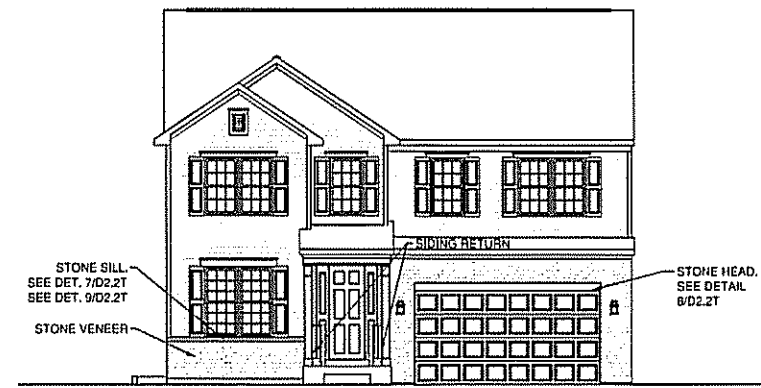
4 RIGHT SIDE ELEVATION - FORM B (SIDING)
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")



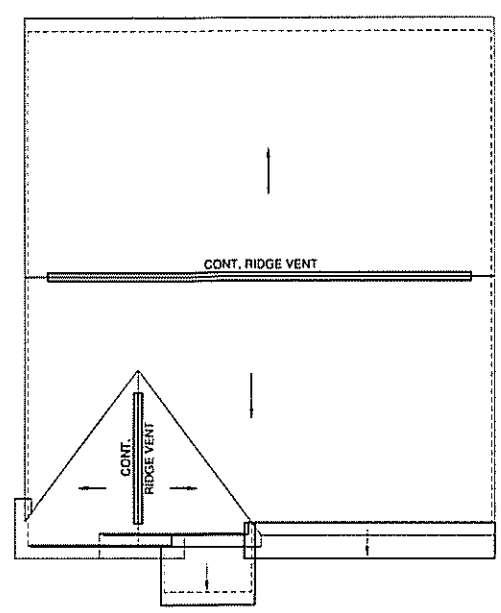
3 REAR ELEVATION - FORM B (SIDING)
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 SCALE: 1/16"=1'-0" (11"x17")



2 LEFT SIDE ELEVATION - FORM B (SIDING)
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")

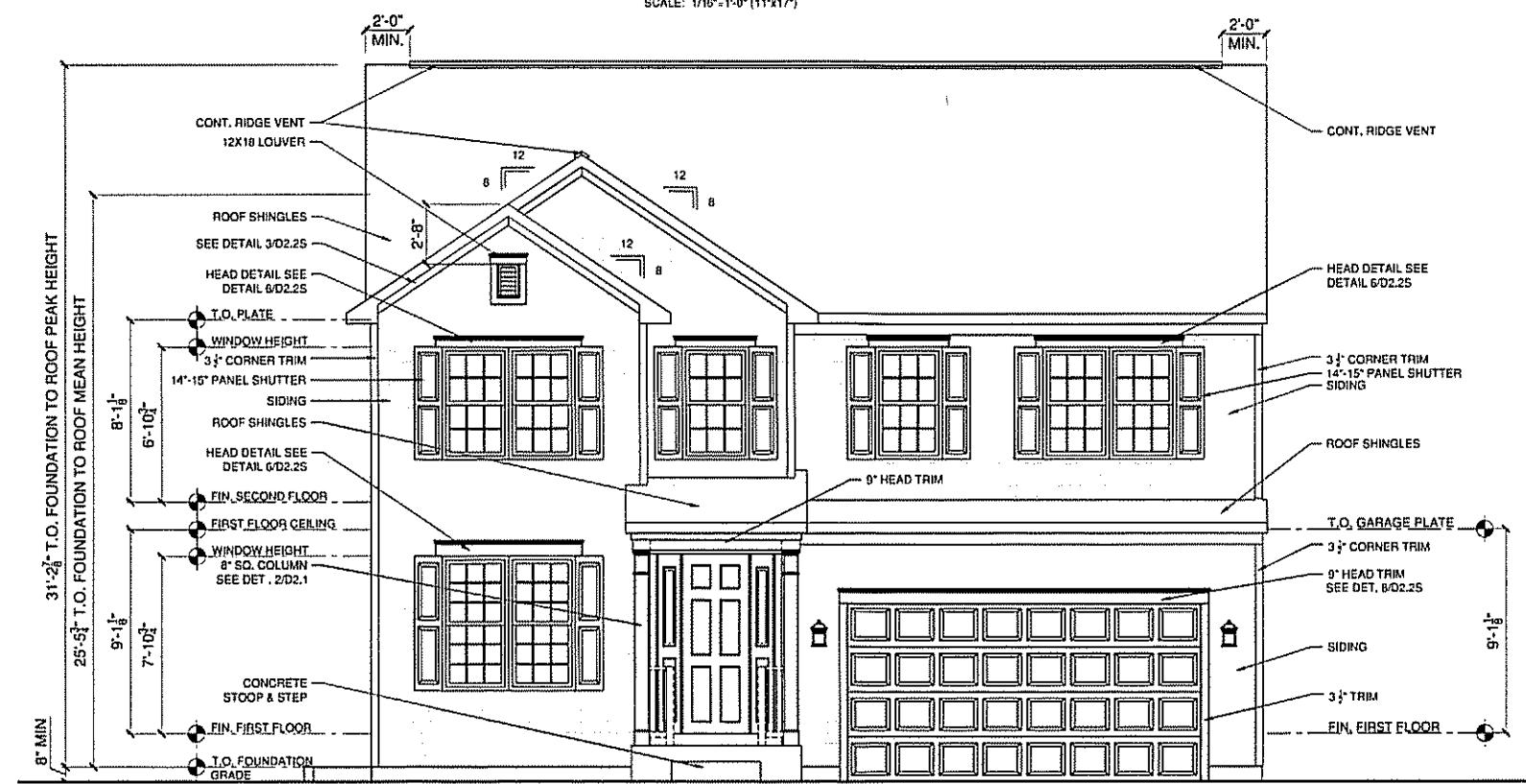


6 FRONT ELEVATION - FORM B (STONE)
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 SCALE: 1/16"=1'-0" (11"x17")

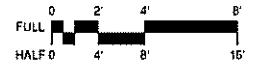


5 ROOF PLAN - FORM B
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")

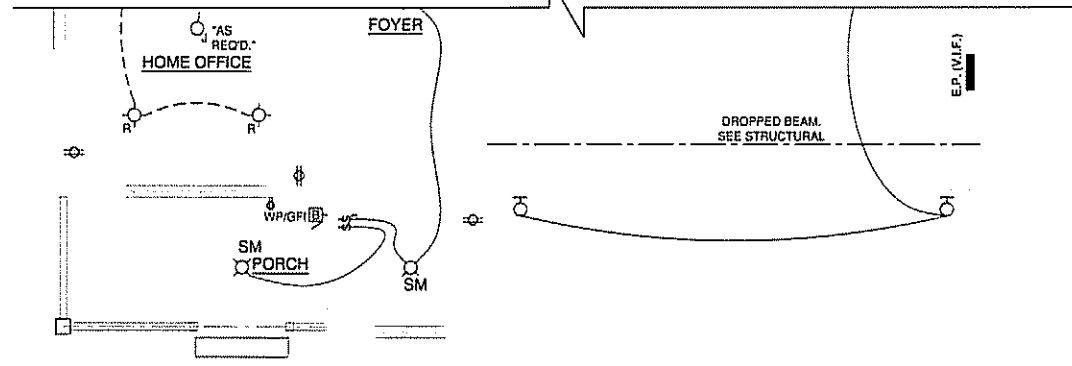
NOTE: PROVIDE FLASHING AT ALL ROOF VALLEY AND ROOF/WALL INTERSECTIONS



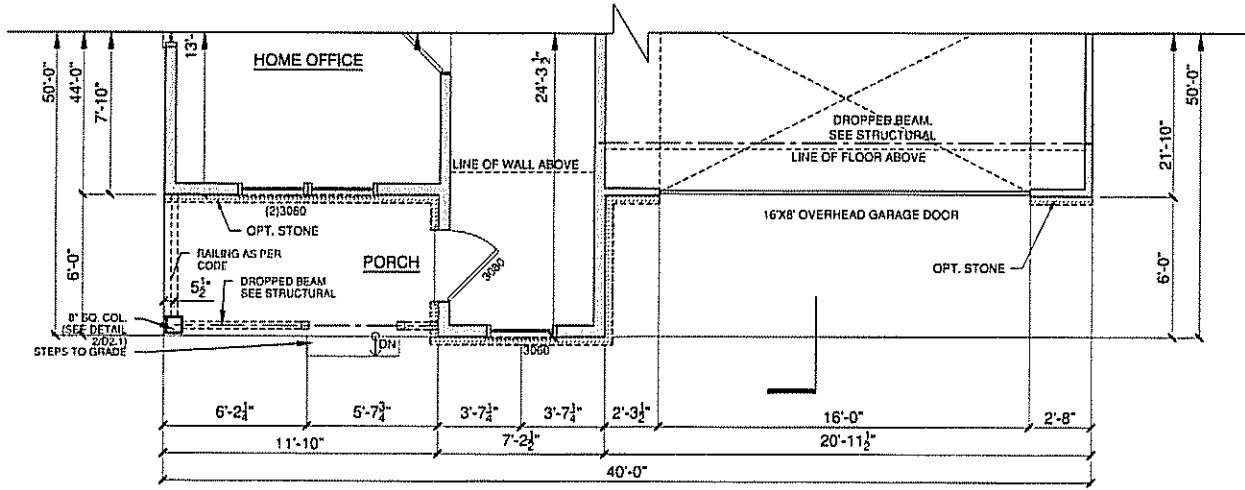
1 FRONT ELEVATION - FORM B (SIDING)
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



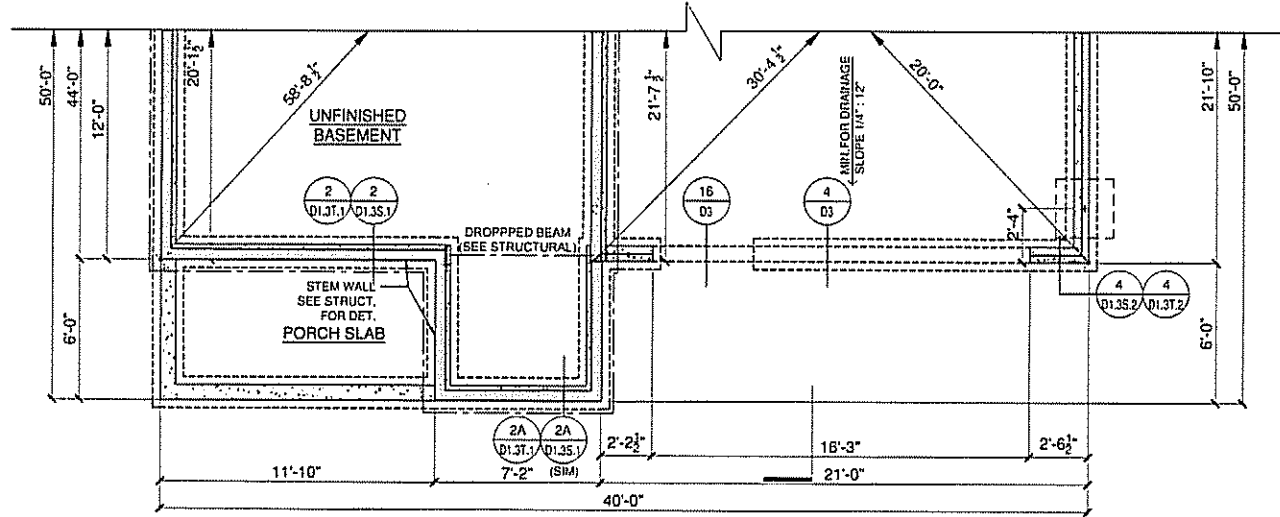
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 RELEASE DATE: 10/16/2020
 MODEL: BROCKDALE RD
 DRAWING TITLE: ARCH ELEVATIONS - FORM B PAGE 1
 SHEET NO.: B-1-1-HS



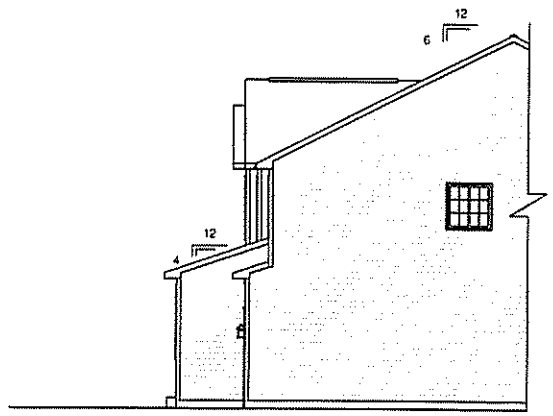
8 PARTIAL FIRST FLOOR ELECTRICAL PLAN - FORM 'B' ALTERNATE ENTRY
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



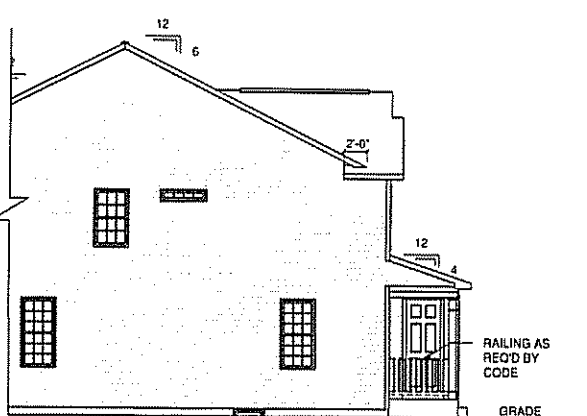
7 PARTIAL FIRST FLOOR PLAN - FORM 'B' ALTERNATE ENTRY
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



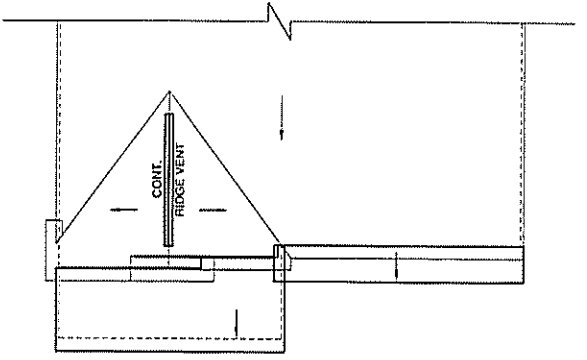
6 PARTIAL FULL BASEMENT PLAN - FORM 'B' ALTERNATE ENTRY
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



4 PARTIAL RIGHT SIDE ELEVATION - FORM 'B' ALTERNATE ENTRY
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")



3 PARTIAL LEFT SIDE ELEVATION - FORM 'B' ALTERNATE ENTRY
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")



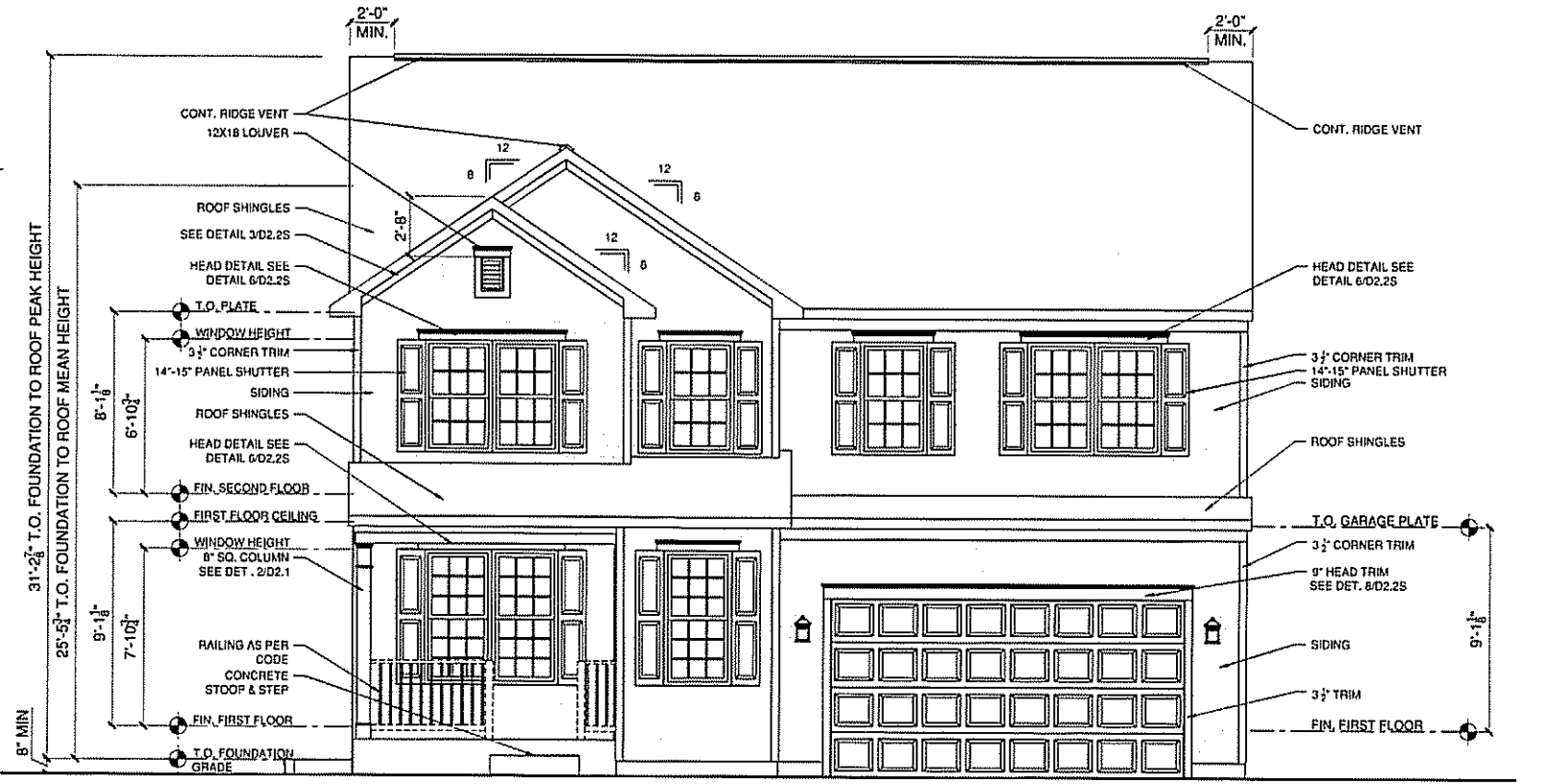
5 PARTIAL ROOF PLAN - FORM 'B' ALTERNATE ENTRY
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")

NOTE: EXTERIOR WALLS ARE 6" THICK CONSISTING OF 5 1/2" STUDS WITH 1/2" SHEATHING ALIGNED FLUSH WITH FOUNDATION U.O.N. REFER TO DETAILS

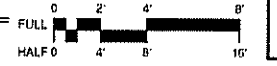
NOTE: PROVIDE FLASHING AT ALL ROOF VALLEY AND ROOF/WALL INTERSECTIONS



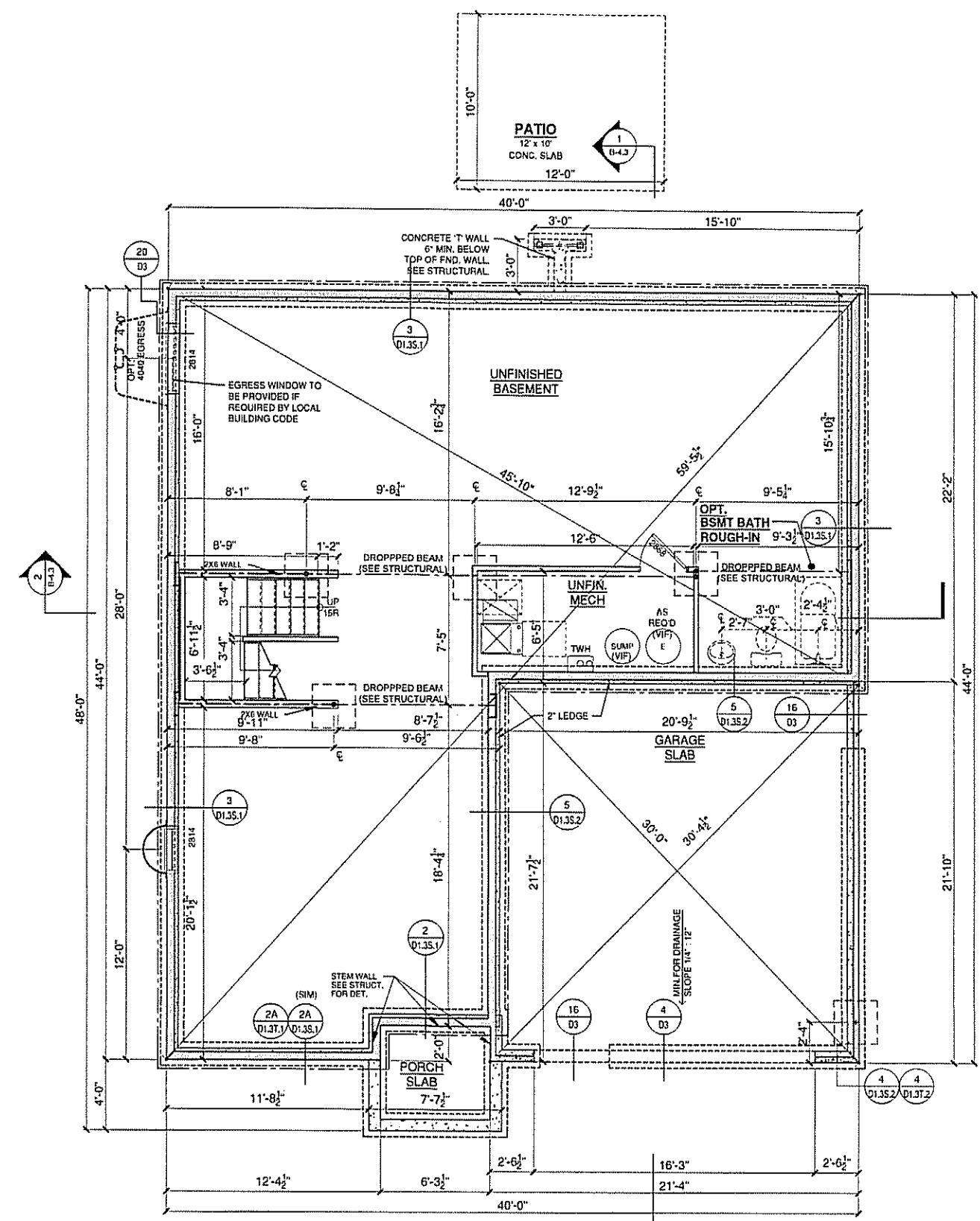
2 FRONT ELEVATION - FORM 'B' ALTERNATE ENTRY (STONE)
 SCALE: 1/8"=1'-0" (22"x34")
 SCALE: 1/16"=1'-0" (11"x17")



1 FRONT ELEVATION - FORM 'B' ALTERNATE ENTRY (SIDING)
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



ARCHITECTS: DAWN KORBELAK, FA 27101404300
 MODEL: BROOKDALE R2
 DRAWING TITLE: ARCH ELEVATIONS (FORM B) PAGE 2
 RELEASE #:
 RELEASE DATE: 10/16/2020
 SHEET NO. B-1- B-1-2-HS

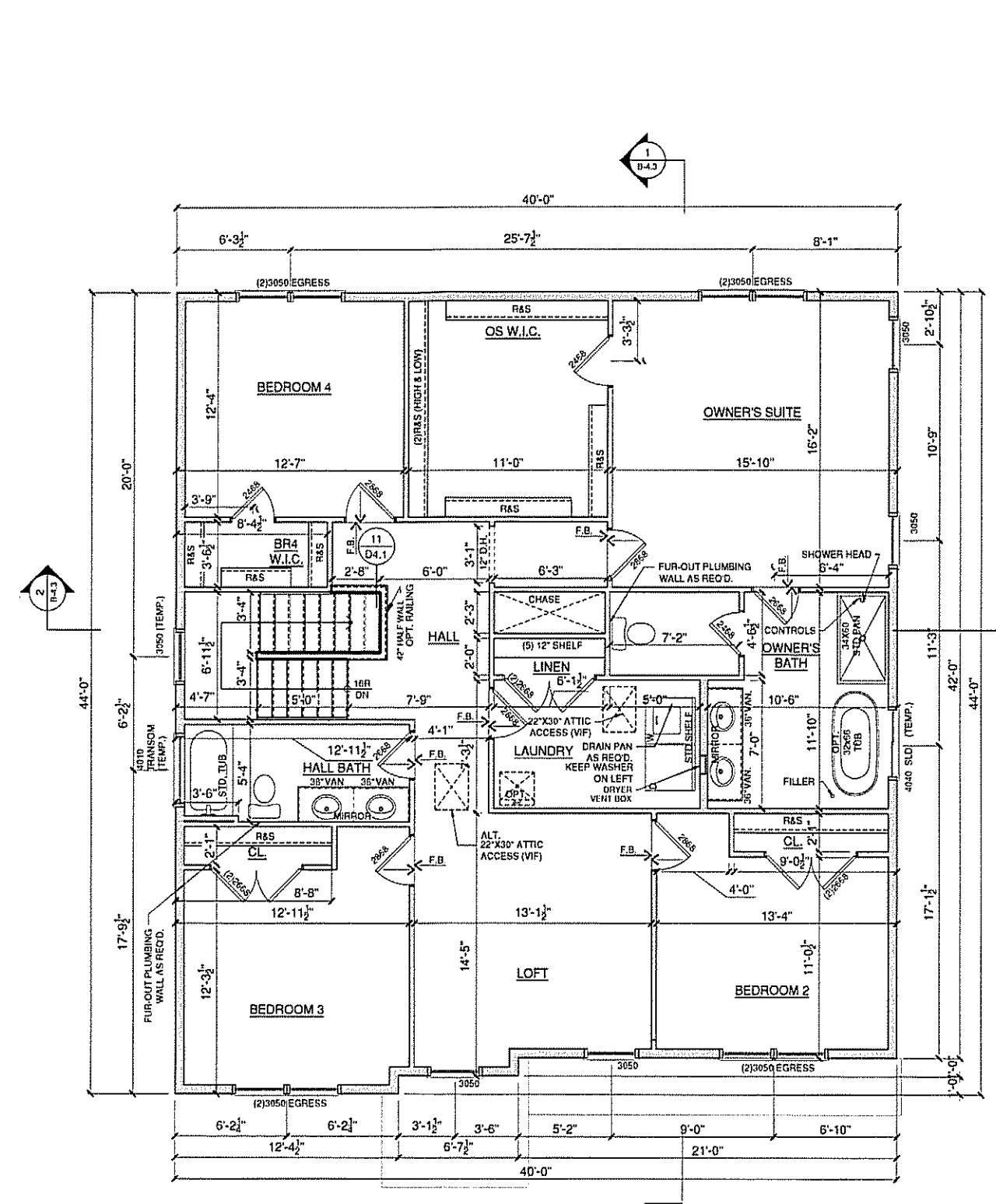


1 FULL BASEMENT PLAN - FORM 'B' (SIDING/STONE)
 SCALE: 1/4" = 1'-0" (22'x34')
 SCALE: 1/8" = 1'-0" (11'x17')

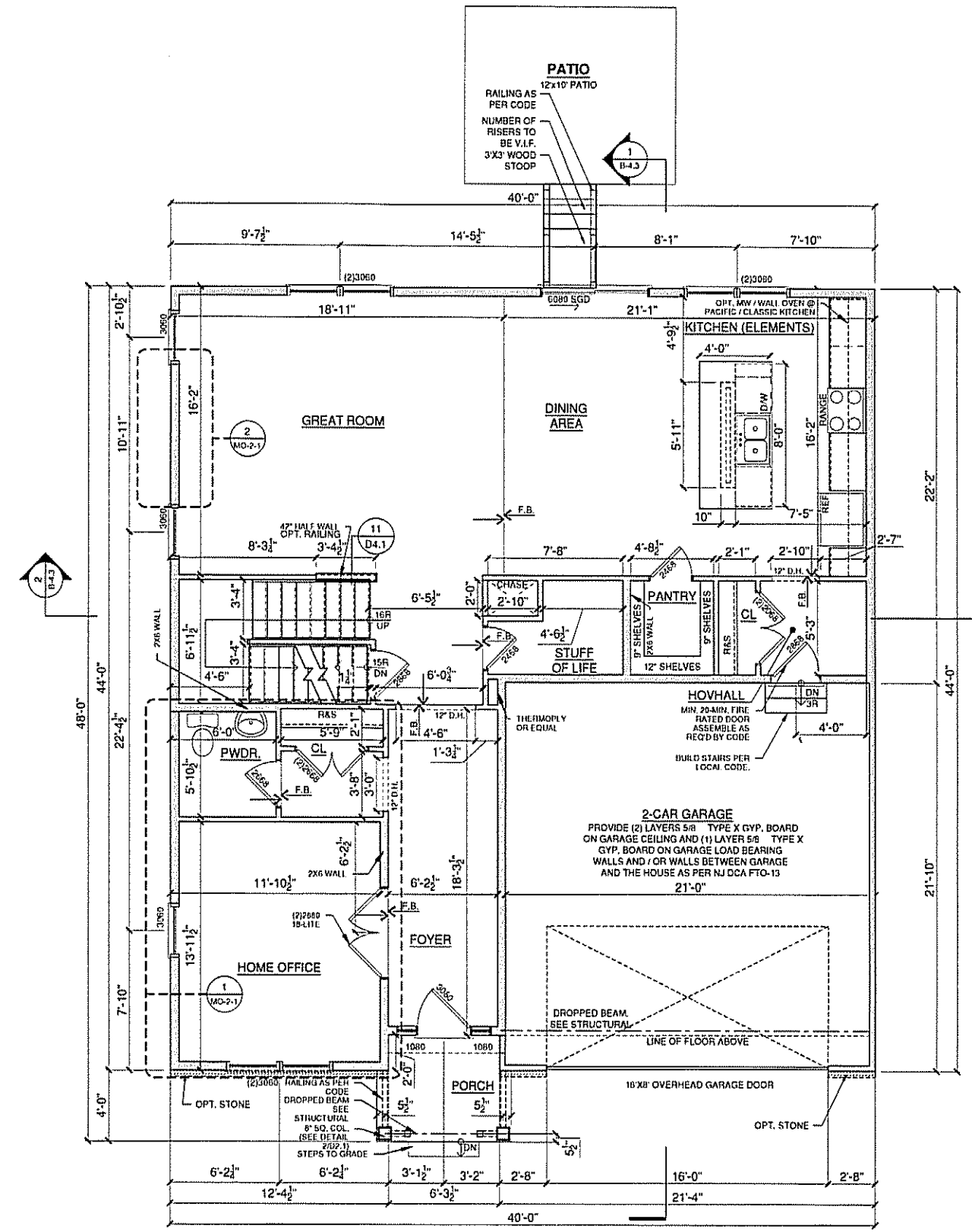


ARCHITECTS: DAWN KOBBELAK, RA 21A01404300
 RELEASE
 BROOKDALE R2
 DRAWING TITLE
 SHEET NO.
 B-1
 B-1-34

NOTE: EXTERIOR WALLS ARE 6" THICK CONSISTING OF 5 1/2" STUDS WITH 1/2" SHEATHING ALIGNED FLUSH WITH FOUNDATION U.O.N. REFER TO DETAILS



2 SECOND FLOOR PLAN - FORM 'B' (SIDING/STONE)
SCALE: 1/4" = 1'-0" (22" x 34")
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1 FIRST FLOOR PLAN - FORM 'B' (SIDING/STONE)
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ARCHITECTS: KFORNATION
MODEL: BROOKDALE RD
DRAWING TITLE: RELEASE #1
SHEET NO.: B-1-4

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B2-1-2	ARCH ELEVATIONS - FORM B2 PAGE 2	3
B2-1-3	ARCH ELEVATIONS - FORM B2 PAGE 3	4
B2-1-4	ARCH ELEVATIONS - FORM B2 PAGE 4	5
B2-4.3	ARCH SECTION - FULL BSMT FORM B2	6
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D2-1-2	ARCH ELEVATIONS - FORM D2 PAGE 2	8
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EL-2.3-3	ELEC FLOOR PLANS - FULL BSMT PAGE 3	17
EO1.3	ELEC OPT - MINOR - FULL BSMT	18

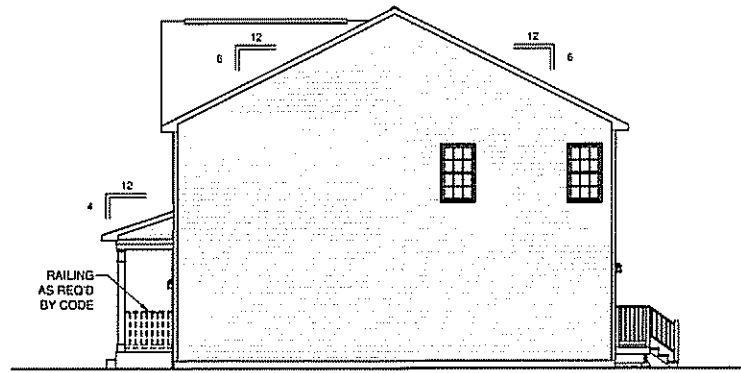
INSULATION		
CEILING W/ ATTIC:	R-38	
ABOVE GRADE WALLS:	R-19	
RIM BOARD:	R-19	
FOUNDATION WALLS (CONDITIONED):	R-13	
FOUNDATION WALLS (UNCONDITIONED):	NONE	
FLOORS:	R-30	
SLAB FLOORS (UNINSULATED SLAB):	U-0.395	
WINDOWS:	U-0.33, SHGC-0.29	

SHEET NUMBERING KEY			
B-1.1-1			
DISCIPLINE/FORM	LEVEL	FOUNDATION TYPE	PAGE # (IF APPLICABLE)
(CS)COVER SHEET	(1) ELEVATIONS	(0) SLAB ON GRADE	1
FORM (B) (C) (E) (F)	(2) FLOOR PLANS	(1) PARTIAL BASEMENT	2
(AO)ARCHITECTURAL OPTION	(3) FOUNDATIONS	(2) CRAWL SPACE	3
(AOC)ARCHITECTURAL OPTION COMBINATION	(4) BLDG. SECTION	(3) FULL BASEMENT	4
(MO)MINOR OPTION	(5) RAISED BASEMENT		
(PO)PORCH OPTION	(6) DAYLIGHT		
(POC)PORCH OPTION COMBINATION	OR	(8) WALKOUT	
(GO)GARAGE OPTION	OPTION #		
(EL)ELECTRICAL	CODED TO A SPECIFIC OPTION AT OPTION DISCIPLINES		
(EO)ELECTRICAL OPTION			
(P)PLUMBING			
(RL)REVISION LOG			

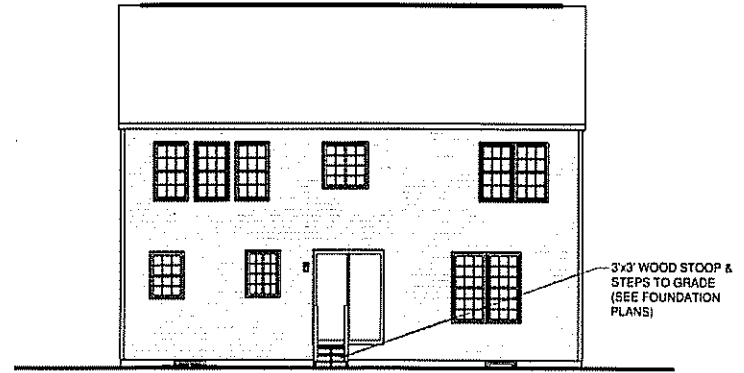
GENERAL		
1.	THESE PLANS AND SPECIFICATIONS ARE SOLE PROPERTY OF K. HOVNIANIAN HOMES. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF K. HOVNIANIAN HOMES IS PROHIBITED.	
2.	ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, COUNTY, AND CITY ZONING, BUILDING ELEC., MECH., PLUMBING AND FIRE CODES. PRIME SUB CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE BUILDER.	
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4.	EMERGENCY ESCAPE AND RESCUE OPENINGS: ALL WINDOWS SHOULD BE INSTALLED SO THE LOWEST PART OF CLEAR WINDOW OPENING IS NOT LESS THAN 24" ABOVE THE FINISHED FLOOR AS PER GOVERNING CODE. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM OPENING 5.7 SQ FT AND COMPLY WITH REQUIREMENTS OF GOVERNING CODE.	
5.	WINDOW SILLS: WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, WINDOW CLEAR OPENING SHALL BE MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR.	
SITE WORK		
1.	FOR PRESUMPTIVE SOIL BEARING CAPACITY ON UNDISTURBED SOIL AND FOR LIQUID EARTH PRESSURE SEE CS-1.	
2.	MINIMUM SOIL BEARING CAPACITY SHALL BE AS NOTED ON STRUCTURAL PLANS.	
METALS		
1.	FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL.	
2.	HANGERS, FRAMING ANCHORS AND FASTENERS: PROVIDE AND INSTALL TYPE INDICATED ON STRUCTURAL PLAN AS REQUIRED. NAILS TO BE AS SPECIFIED BY MANUFACTURER FOR THEIR SPECIFIC USE. NAILS SHALL BE DRIVEN IN ALL HOLES IN THE ANCHOR.	
3.	THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH GOVERNING CODE.	
4.	STEEL COLUMNS SHALL BE INSTALLED AS PER GOVERNING CODE.	
5.	STRUCTURAL STEEL - A.S.T.M. A36	
THERMAL & MOISTURE PROTECTION		
1.	ATTIC SPACES SHALL BE VENTILATED WITH RIDGE AND SOFFIT VENTS UNLESS OTHERWISE NOTED. VENTING PROVIDED AS PER GOVERNING CODE.	
2.	FIRESTOPPING SHALL BE INSTALLED AS PER GOVERNING CODE.	
CONCRETE (FOUNDATIONS)		
1.	COMPRESSIVE STRENGTH OF CONCRETE SHALL BE PROVIDED AS PER GOVERNING CODE.	
2.	PERIMETER INSULATION ON GRADE SLAB CONDITION SHALL BE AS PER STRUCTURAL PLANS.	
3.	FOUNDATION DRAINAGE SHALL CONFORM WITH APPROVED SITE PLAN AND INSTALLED PER GOVERNING CODE.	
4.	SUMP PUMP SHALL BE INSTALLED PER GOVERNING CODE WHEN REQUIRED.	
5.	CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE DAMPPROOFED/WATERPROOFED PER GOVERNING CODE.	
6.	REFER TO STRUCTURAL PLANS FOR FOUNDATION FRAMING ANCHORS INFORMATION.	
MECHANICAL / ELECTRICAL / PLUMBING		
1.	SUB CONTRACTOR SHALL CLOSELY EXAMINE FIELD CONDITIONS AND COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH STRUCTURAL ELEMENTS AS WELL AS HVAC, PLUMBING AND ELECTRICAL COMPONENTS.	
2.	WHERE REQUIRED BY LOCAL JURISDICTION, A PASSIVE SUB-SLAB VENTING SYSTEM SHALL BE INSTALLED PER CODE.	
3.	MECHANICAL FIREPLACES SHALL BE INSTALLED PER GOVERNING CODE.	
VENTILATION		
R700.1 VENTILATION REQUIRED. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. VENTILATING OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R702.2. REQUIRED VENTILATING OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.		
R700.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: 1. IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATING PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.		
R700.3 VENT AND INSULATION CLEARANCE. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH (25 MM) SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.		
R700.4 INSTALLATION AND WEATHER PROTECTION. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R703. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R704.1.		

TOMASEN NEW JERSEY MARLBORO PLACE						
E1 #	DESCRIPTION					
5011	9'-0" 1ST FLOOR / 8'-0" 2ND FLOOR					
CODE CONFORMANCE NOTES						
IRC 2018 IECC 2018						
USE GROUP	R5					
CONSTRUCTION CLASSIFICATION	5B					
HEIGHT & AREA LIMITATION OF BLDG.	TWO (2) STORY 35'-0" H. 4800 S.F. FLR MAX.					
AREA & VOLUME COMPUTATION						
	VOLUME IN CUBIC FEET					
	AREA IN SQUARE FEET	FIN. CLING.	FIN. CLING.	CONCRETE	ATTIC	
FIRST FLOOR LIVING						
FORM D2	1,085		10,850			
FORMS D2 / F	1,125		11,250			
FORM D2 - ALT. ENTRY	1,133		11,330			
FORM D2 / F - ALT. ENTRY	1,145		11,450			
SECOND FLOOR LIVING						
FORM B2	1,520	12,160		7,910		
FORM D2	1,560	12,640		8,232		
FORM F	1,585	12,680		8,258		
FULL BASEMENT						
FORM B2	1,085	13,685				
FORM D2 / F	1,125	13,576				
GARAGE						
FORM D2 / D2 / F	435		3,915			
MAJOR OPTIONS:						
EXTENDED GREAT RM. (FIRST FLR. LIVING)	-99		-990		-148	
EXTENDED GREAT RM. (UNFINISHED BASEMENT)	-99		-891			
TOTAL STANDARD LIVING:						
FORM D2	2,605					
FORM D2	2,705					
FORM F	2,710					
FORM B2 - ALT. ENTRY	2,505					
FORM D2 - ALT. ENTRY	2,705					
FORM F - ALT. ENTRY	2,710					
SITE CONDITIONS						
WIND SPEED	120 MPH					
EXPOSURE	B					
GROUND SNOW LOAD	25 PSF					
SOIL BEARING CAPACITY	3000 PSF					
LIQUID SOIL PRESSURE	45 PCF					
FROST DEPTH	36"					
DETAIL RELEASE 3						
DESIGNATIONS						
INTERIOR ELEVATION ELEVATION NO. SHEET NO. DATUM ELEVATION F.F. CHANGE OF FLOOR FINISH	DETAIL NUMBER SHEET NUMBER DETAIL ENLARGEMENT VIEW NUMBER OPTION					
REVISION NUMBER INTERIOR BEARING WALL SECTION NUMBER SHEET NUMBER BUILDING SECTION						

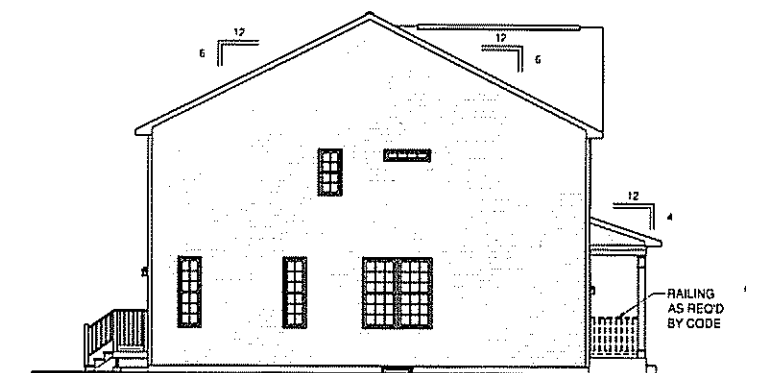
ARCHITECTS: DAWN KORBELAK, RA 21 A01404300
 LICENSE #
 RELEASE #
 RELEASE DATE: 10/16/2020
 MODEL: TOMASEN - RJ
 DRAWING TITLE: COVER SHEET - NEW JERSEY
 SHEET NO.: CS1.NJ



4 RIGHT SIDE ELEVATION - FORM 'B2'
 SCALE: 1/8" = 1'-0" (22"x34")
 SCALE: 1/16" = 1'-0" (11"x17")



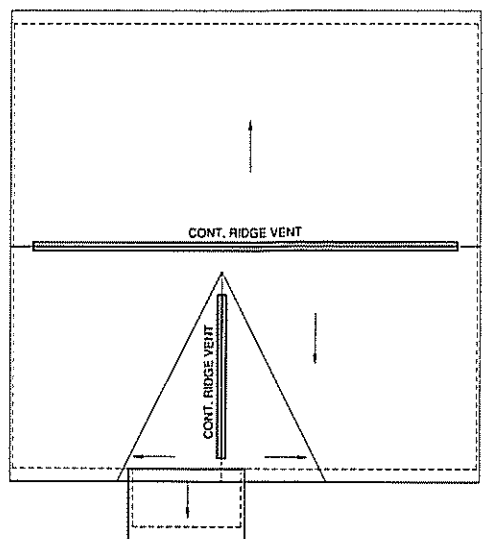
3 REAR ELEVATION - FORM 'B2'
 SCALE: 1/8" = 1'-0" (22"x34")
 SCALE: 1/16" = 1'-0" (11"x17")



2 LEFT SIDE ELEVATION - FORM 'B2'
 SCALE: 1/8" = 1'-0" (22"x34")
 SCALE: 1/16" = 1'-0" (11"x17")

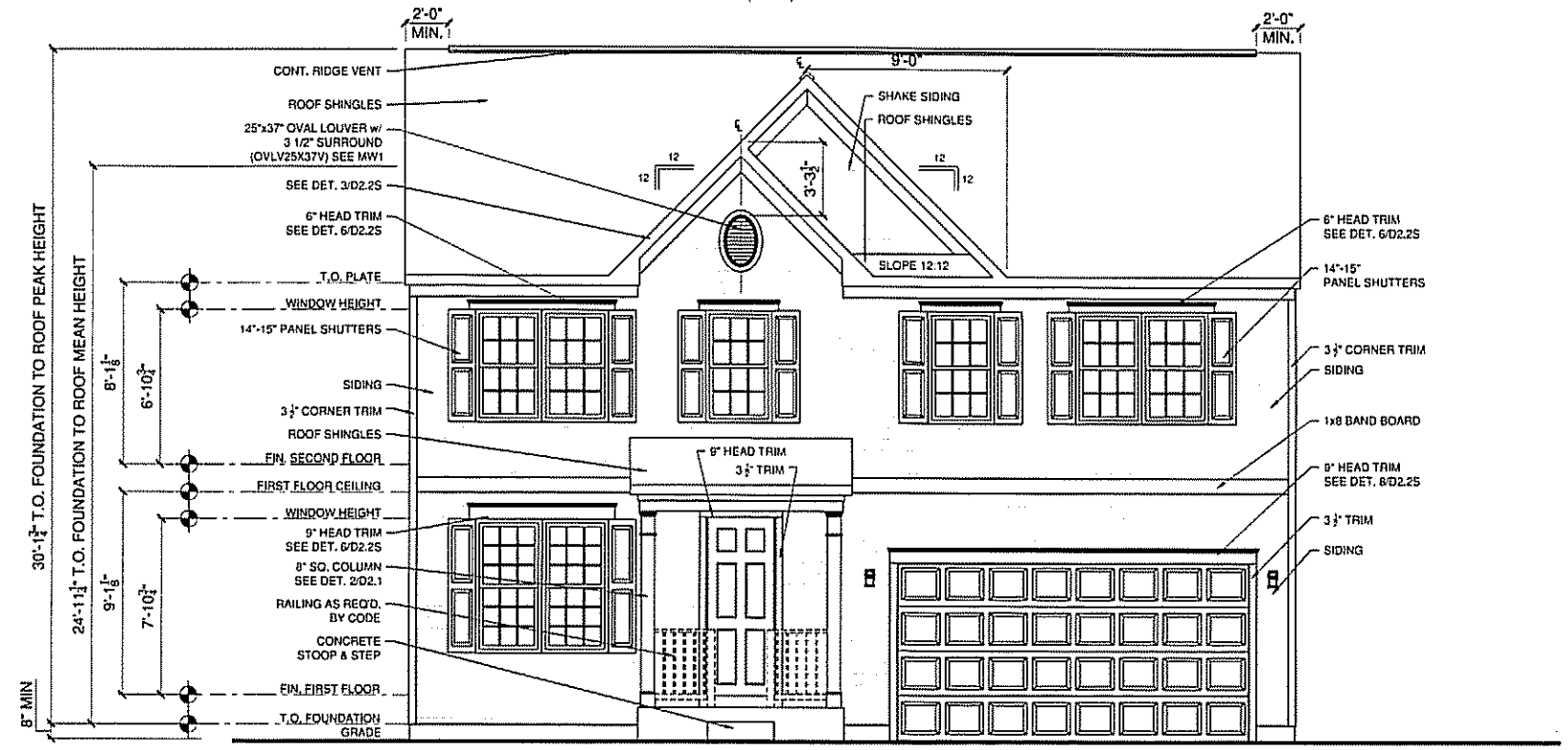


6 FRONT ELEVATION - FORM 'B2' (STONE)
 SCALE: 1/8" = 1'-0" (22"x34")
 SCALE: 1/16" = 1'-0" (11"x17")

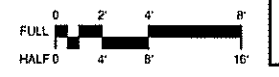


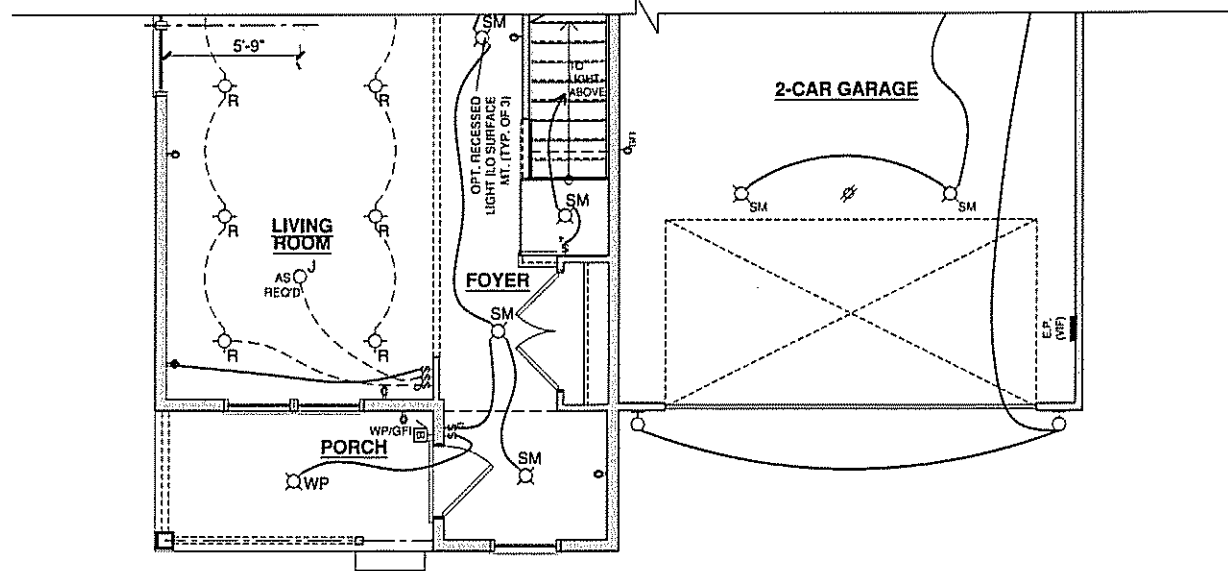
5 ROOF PLAN - FORM 'B2'
 SCALE: 1/8" = 1'-0" (22"x34")
 SCALE: 1/16" = 1'-0" (11"x17")

NOTE: PROVIDE FLASHING AT ALL ROOF VALLEY AND ROOF/WALL INTERSECTIONS



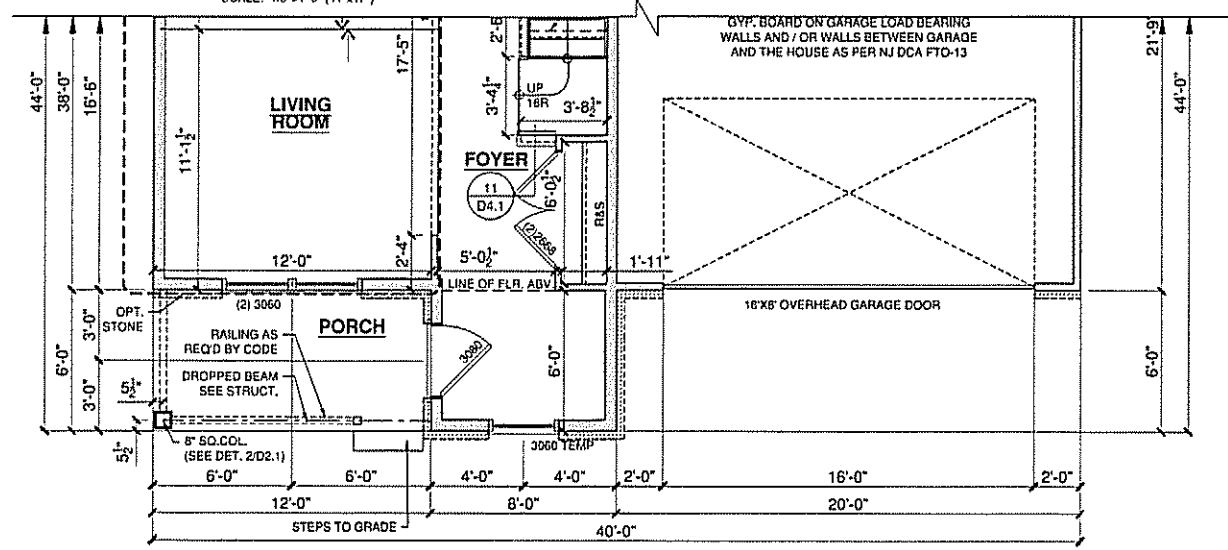
1 FRONT ELEVATION - FORM 'B2' (SIDING)
 SCALE: 1/4" = 1'-0" (22"x34")
 SCALE: 1/8" = 1'-0" (11"x17")





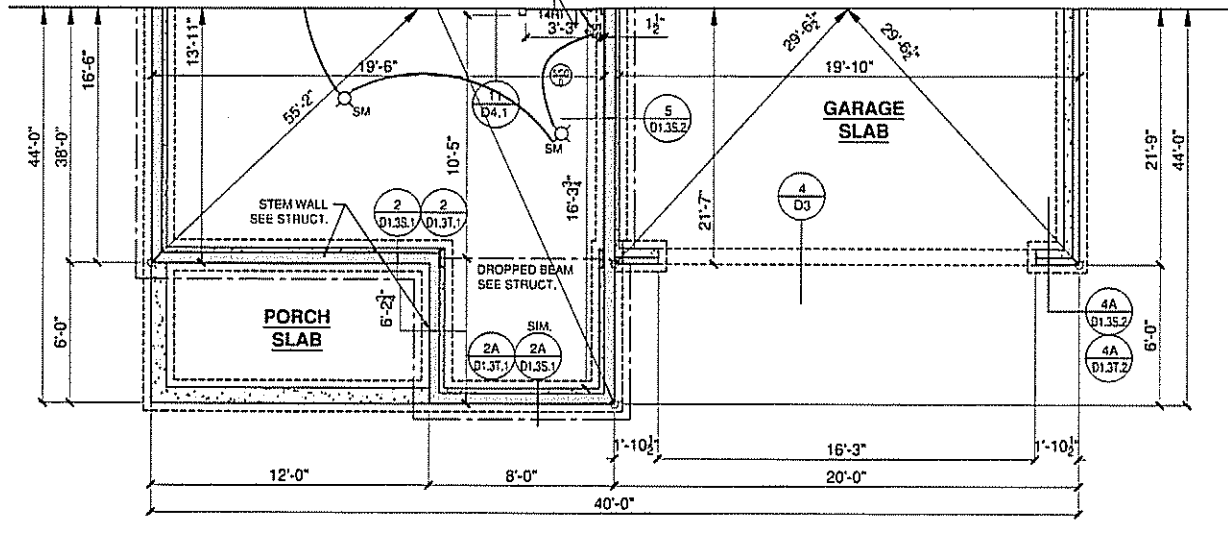
8 PARTIAL FIRST FLOOR ELECTRICAL PLAN - FORM 'B2' ALTERNATE ENTRY

SCALE: 1/4"=1'-0" (22"x34")
SCALE: 1/8"=1'-0" (11"x17")



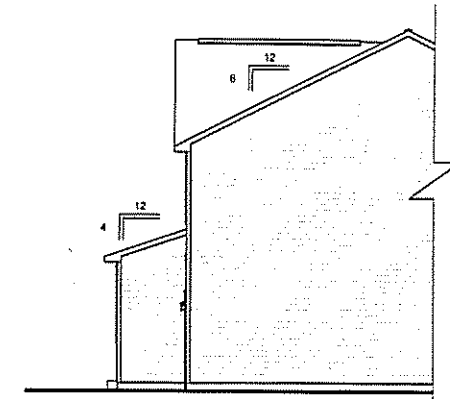
7 PARTIAL FIRST FLOOR PLAN - FORM 'B2' ALTERNATE ENTRY

SCALE: 1/4"=1'-0" (22"x34")
SCALE: 1/8"=1'-0" (11"x17")



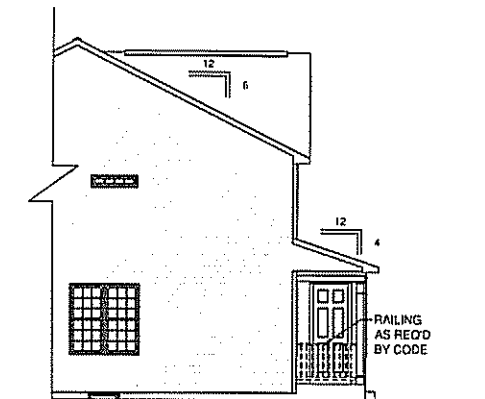
6 PARTIAL FULL BASEMENT PLAN - FORM 'B2' ALTERNATE ENTRY

SCALE: 1/4"=1'-0" (22"x34")
SCALE: 1/8"=1'-0" (11"x17")



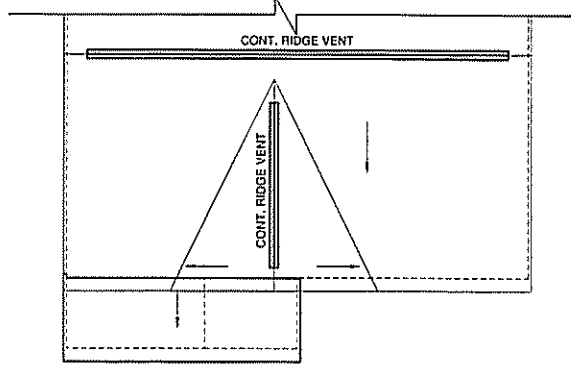
4 PARTIAL RIGHT SIDE ELEVATION FORM 'B2' ALTERNATE ENTRY

SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



3 PARTIAL LEFT SIDE ELEVATION FORM 'B2' ALTERNATE ENTRY

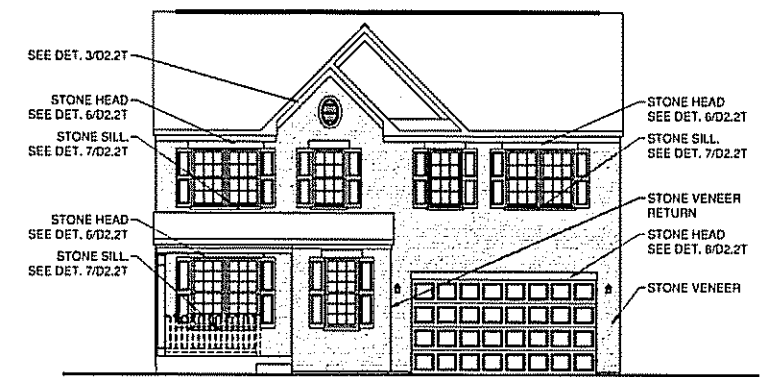
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5 PARTIAL ROOF PLAN - FORM 'B2' ALTERNATE ENTRY

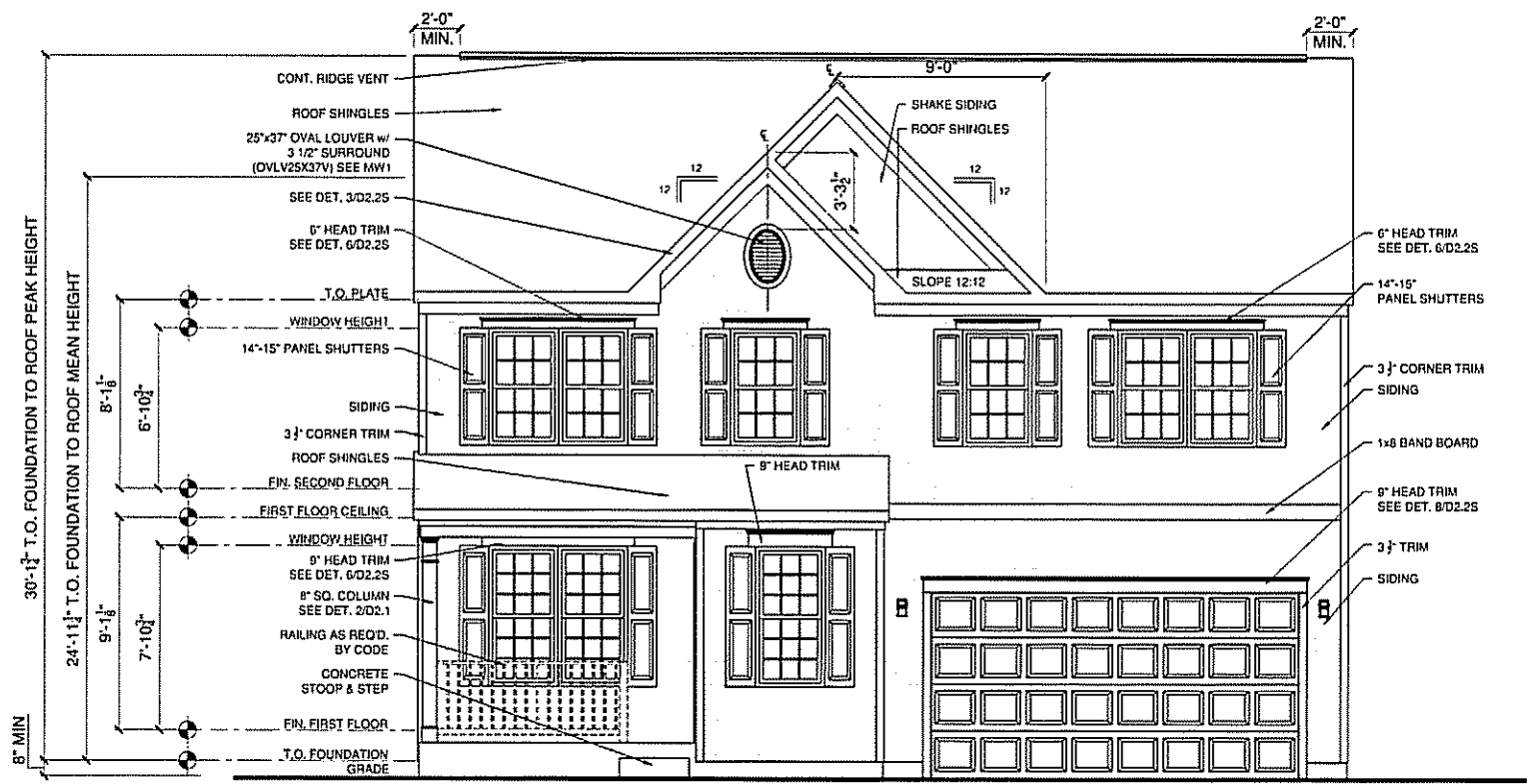
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SCALE: 1/16"=1'-0" (11"x17")

NOTE: PROVIDE FLASHING AT ALL ROOF VALLEY AND ROOF/WALL INTERSECTIONS



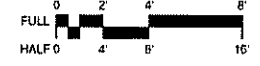
2 FRONT ELEVATION - FORM 'B2' ALTERNATE ENTRY (STONE)

SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



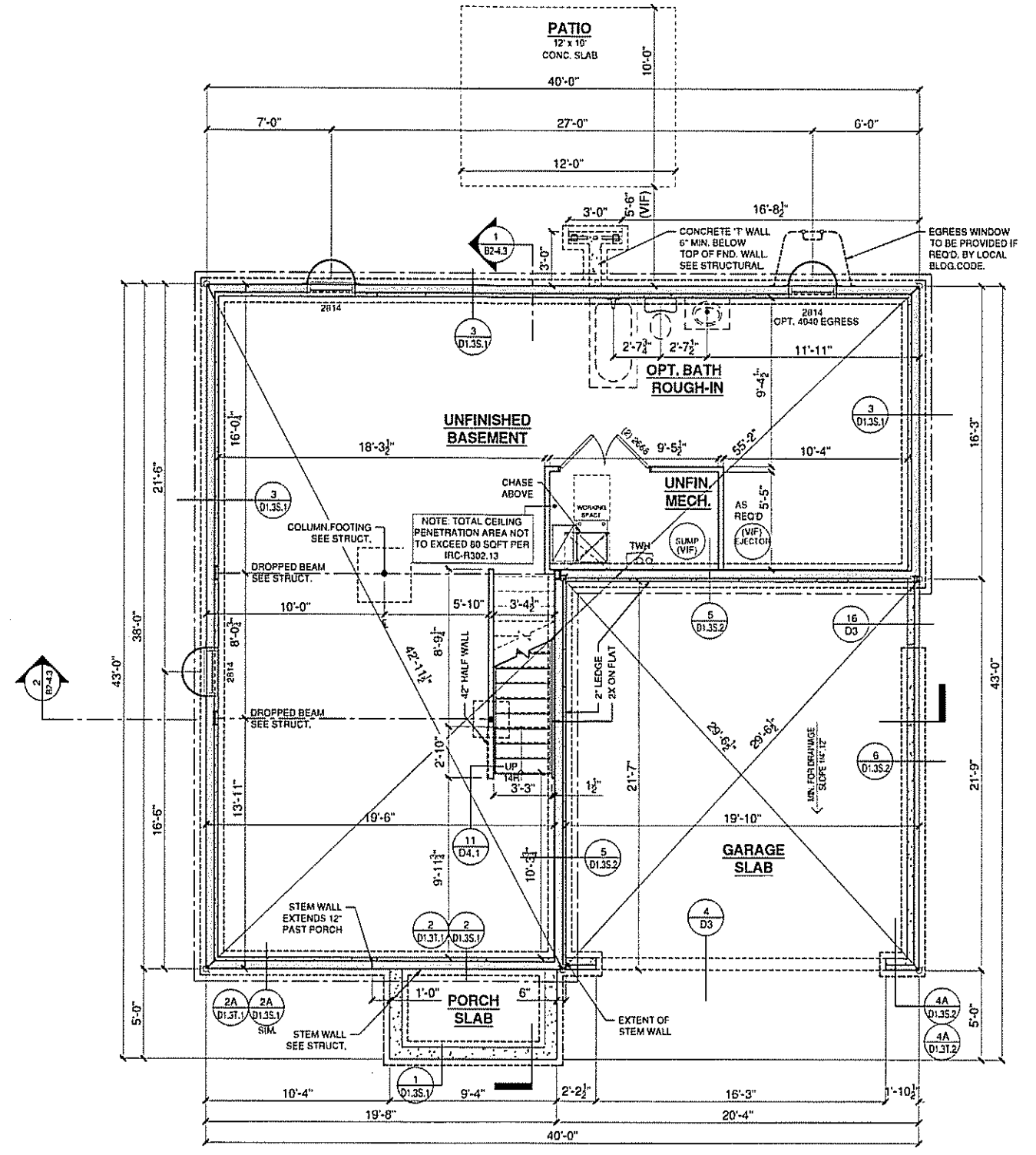
1 FRONT ELEVATION - FORM 'B2' ALTERNATE ENTRY (SIDING)

SCALE: 1/4"=1'-0" (22"x34")
SCALE: 1/8"=1'-0" (11"x17")



NOTE: EXTERIOR WALLS ARE 6" THICK CONSISTING OF 5 1/2" STUDS WITH 1/2" SHEATHING ALIGNED FLUSH WITH FOUNDATION U.O.N. REFER TO DETAILS

ARCHITECTS: DAWN KORBELAK, PA 21/010140-0300
 MODEL: TOMASEN
 DRAWING TITLE: B2-1-2
 SHEET NO.: B2-1-2

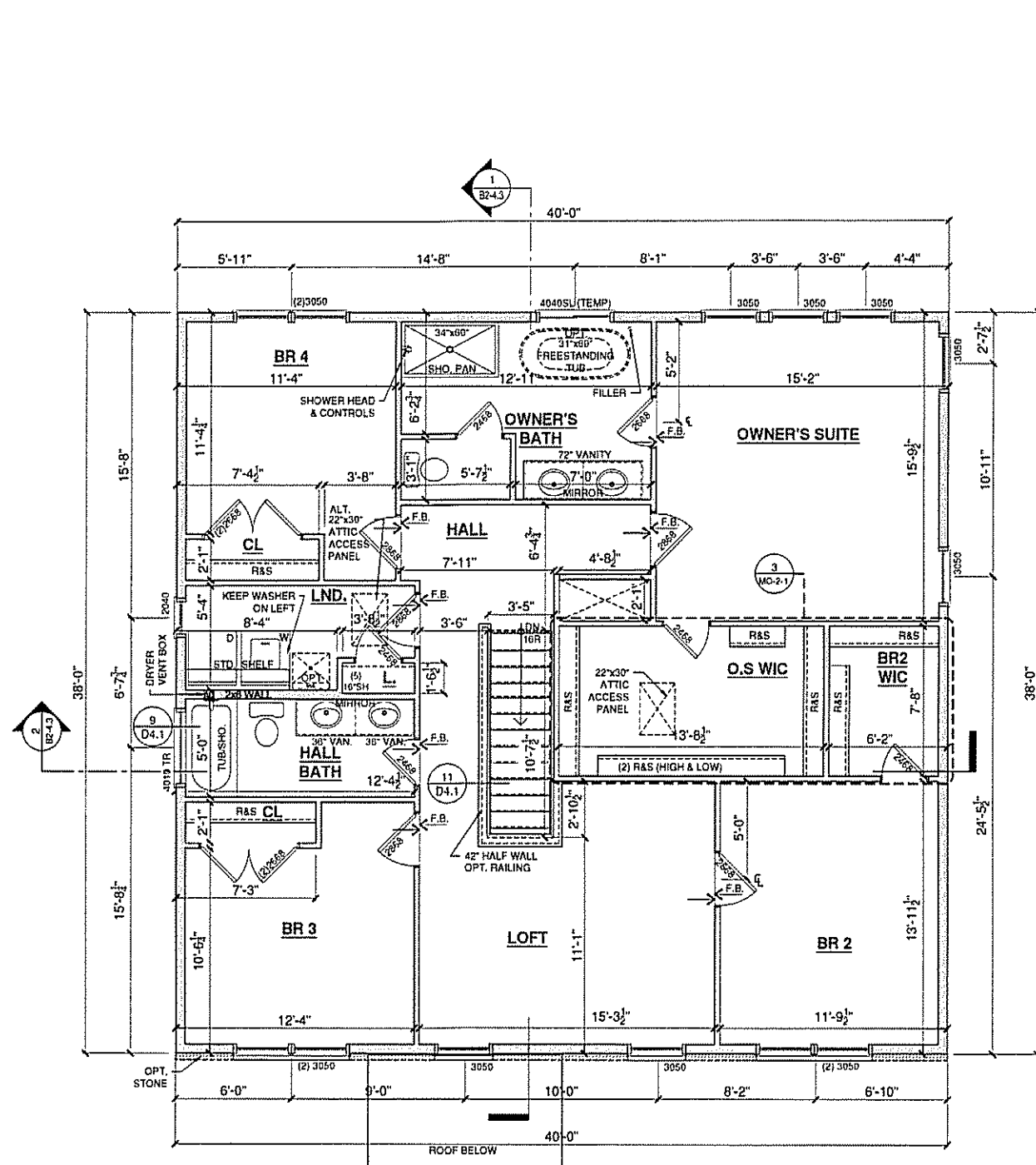


1 FULL BASEMENT PLAN - FORM 'B2' (SIDING/STONE)
 SCALE: 1/4" = 1'-0" (22"x34")
 SCALE: 1/8" = 1'-0" (11"x17")

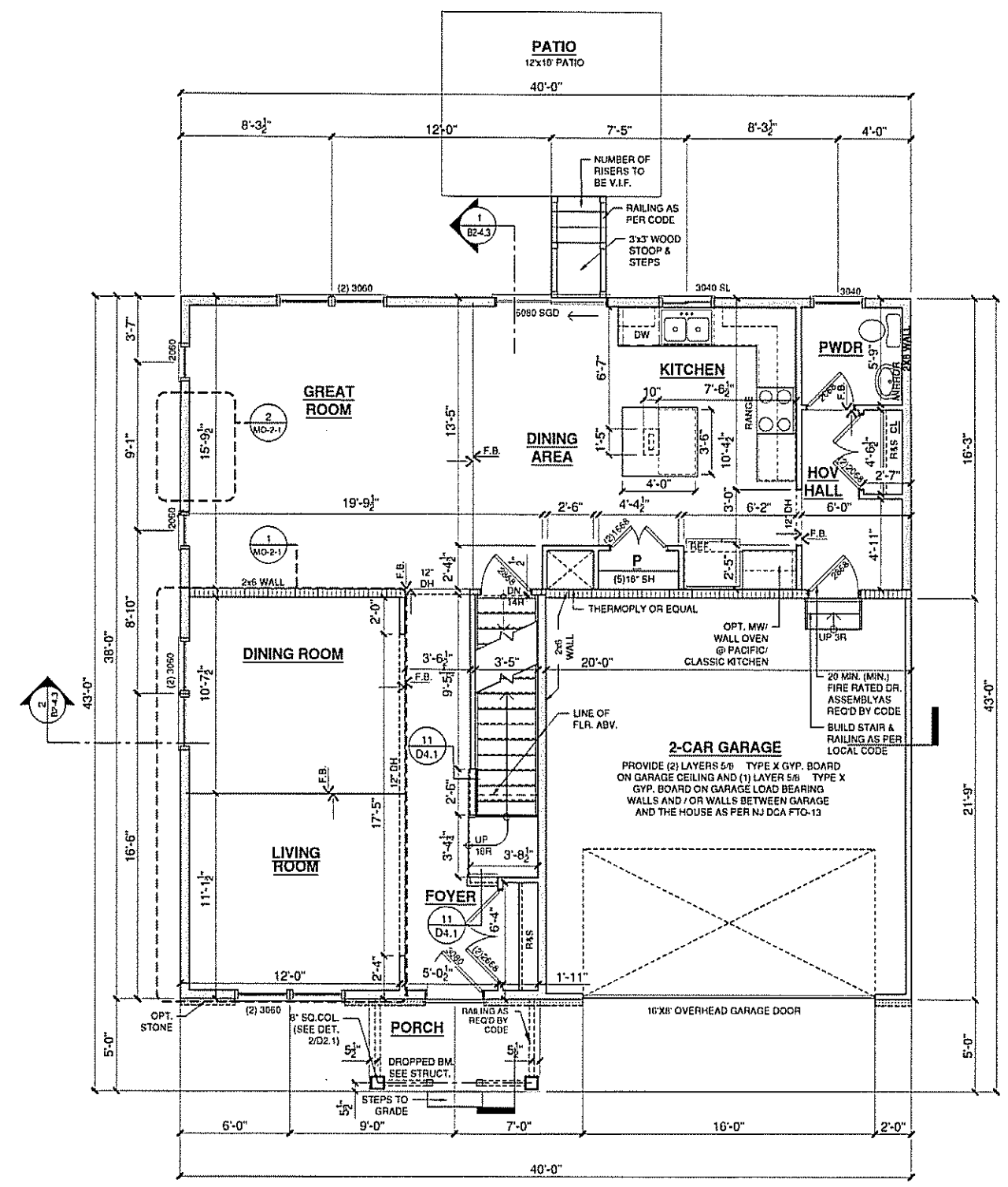


ARCHITECTS: DAWN KORBELAK, RA 21A01404300
 MODEL: TOMASSEN
 DRAWING TITLE: ARCH ELEVATIONS - FORM B2 PAGE 3
 RELEASE DATE: 10/16/2020
 SHEET NO. B2-1-3-P

NOTE: EXTERIOR WALLS ARE 6" THICK
 CONSISTING OF 5 1/2" STUDS WITH 1/2"
 SHEATHING ALIGNED FLUSH WITH
 FOUNDATION U.O.N. REFER TO DETAILS



2 SECOND FLOOR PLAN - FORM 'B2' (SIDING/STONE)
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



1 FIRST FLOOR PLAN - FORM 'B2' (SIDING/STONE)
 SCALE: 1/4"=1'-0" (22"x34")
 SCALE: 1/8"=1'-0" (11"x17")



ARCHITECTS: DAWN KORBELAK, RA 21A101404300
 MODEL: TOMASSEN
 DRAWING TITLE: ARCH ELEVATIONS - FORM B2 PAGE 4
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 B2-1-4-HS3
 RELEASE DATE: 10/16/2020
 SHEET VERSION #: 2

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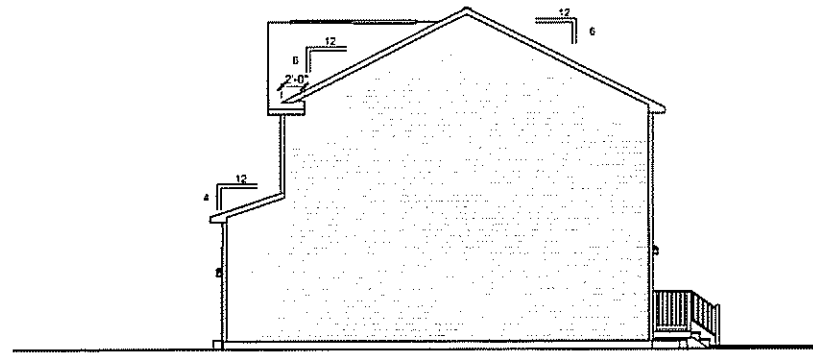
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(EO)ELECTRICAL OPTION	CODED TO A SPECIFIC OPTION AT OPTION DISCIPLINES		
(P)PLUMBING			
(R)REVISION LOG			

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3. PRIME SUB CONTRACTOR SHALL BRING ANY ERRORS AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE BUILDER IN WRITING. WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY CONSTRUCTION OR FABRICATION WORK.	
4. EMERGENCY ESCAPE AND RESCUE OPENINGS. ALL WINDOWS SHOULD BE INSTALLED SO THE LOWEST PART OF CLEAR WINDOW OPENING IS NOT LESS THAN 24" ABOVE THE FINISHED FLOOR AS PER GOVERNING CODE. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM OPENING 5.7 SQ FT AND COMPLY WITH REQUIREMENTS OF GOVERNING CODE.	
5. WINDOW SILLS: WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, WINDOW CLEAR OPENING SHALL BE MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR.	
SITE WORK	
1. FOR PRESUMPTIVE SOIL BEARING CAPACITY ON UNDISTURBED SOIL AND FOR LIQUID EARTH PRESSURE SEE CS-1.	
2. MINIMUM SOIL BEARING CAPACITY SHALL BE AS NOTED ON STRUCTURAL PLANS.	
METALS	
1. FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL.	
2. HANGERS, FRAMING ANCHORS AND FASTENERS: PROVIDE AND INSTALL TYPE INDICATED ON STRUCTURAL PLAN AS REQUIRED. NAILS TO BE AS SPECIFIED BY MANUFACTURER FOR THEIR SPECIFIC USE. NAILS SHALL BE DRIVEN IN ALL HOLES IN THE ANCHOR.	
3. THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH GOVERNING CODE.	
4. STEEL COLUMNS SHALL BE INSTALLED AS PER GOVERNING CODE.	
5. STRUCTURAL STEEL - A.S.T.M. A36	
THERMAL & MOISTURE PROTECTION	
1. ATTIC SPACES SHALL BE VENTILATED WITH RIDGE AND SOFFIT VENTS UNLESS OTHERWISE NOTED. VENTING PROVIDED AS PER GOVERNING CODE.	
2. FIRESTOPPING SHALL BE INSTALLED AS PER GOVERNING CODE.	
CONCRETE (FOUNDATIONS)	
1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE PROVIDED AS PER GOVERNING CODE.	
2. PERIMETER INSULATION ON GRADE SLAB CONDITION SHALL BE AS PER STRUCTURAL PLANS.	
3. FOUNDATION DRAINAGE SHALL CONFORM WITH APPROVED SITE PLAN AND INSTALLED PER GOVERNING CODE.	
4. SUMP PUMP SHALL BE INSTALLED PER GOVERNING CODE WHEN REQUIRED.	
5. CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE DAMPROOFED/WATERPROOFED PER GOVERNING CODE.	
6. REFER TO STRUCTURAL PLANS FOR FOUNDATION FRAMING ANCHORS INFORMATION.	
MECHANICAL / ELECTRICAL / PLUMBING	
1. SUB CONTRACTOR SHALL CLOSELY EXAMINE FIELD CONDITIONS AND COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH STRUCTURAL ELEMENTS AS WELL AS HVAC, PLUMBING AND ELECTRICAL COMPONENTS.	
2. WHERE REQUIRED BY LOCAL JURISDICTION, A PASSIVE SUB-SLAB VENTING SYSTEM SHALL BE INSTALLED PER CODE.	
3. MECHANICAL FIREPLACES SHALL BE INSTALLED PER GOVERNING CODE.	
VENTILATION	
R806.1 VENTILATION REQUIRED. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.	
R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: 1. IN CLIMATE ZONES 0, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.	
R806.3 VENT AND INSULATION CLEARANCE. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH (25 MM) SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.	
R806.4 INSTALLATION AND WEATHER PROTECTION. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R803. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R703.1.	

GENERAL	
1. THESE PLANS AND SPECIFICATIONS ARE SOLE PROPERTY OF K. HOVNANIAN HOMES. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF K. HOVNANIAN HOMES IS PROHIBITED.	
2. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, COUNTY, AND CITY ZONING, BUILDING, ELEC., MECH., PLUMBING, AND FIRE CODES. PRIME SUB CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE BUILDER.	
3. PRIME SUB CONTRACTOR SHALL BRING ANY ERRORS AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE BUILDER IN WRITING. WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY CONSTRUCTION OR FABRICATION WORK.	
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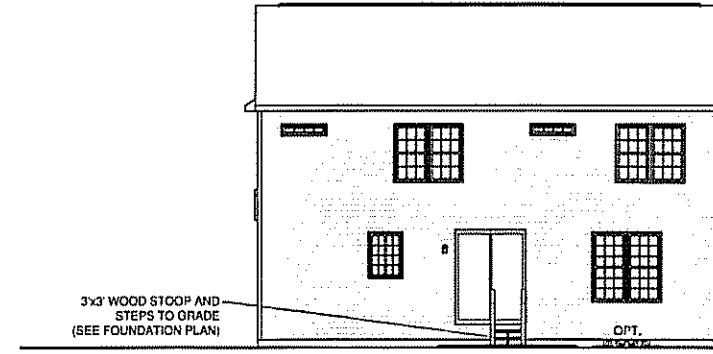
HANOVER NEW JERSEY MARLBORO PLACE						
E1#	DESCRIPTION					
HANOVER 5010	9'-0" 1ST FLOOR / 8'-0" 2ND FLOOR					
HANOVER ESP 6222	9'-0" 1ST FLOOR / 8'-0" 2ND FLOOR					
CODE CONFORMANCE NOTES						
IRC 2018 IECC 2018						
USE GROUP CONSTRUCTION CLASSIFICATION HEIGHT & AREA LIMITATION OF BLDG.	R5 5B TWO (2) STORY 35'-0" H. 4800 S.F. FLR MAX.					
AREA & VOLUME COMPUTATION						
	VOLUME IN CUBIC FEET					
	AREA IN SQUARE FEET	9'-0" CLNG.	9'-0" CLNG.	OPNICE	ATTIC	
FIRST FLOOR LIVING						
FORMS C / E2 / F2	978		9,780			
FORMS C2 / E3 / F3	1,275		12,750			
FORMS C / E2 / F2 - ALT. ENTRY	1,013		10,130			
SECOND FLOOR LIVING						
FORMS C / C2	1,280	10,240		5,696		
FORMS E2 / E3 / F3	1,321	10,569		5,879		
FORM F2	1,351	10,809		6,012		
FULL BASEMENT						
FORMS C / E2 / F2	978	8,802				
FORMS C2 / E3 / F3	1,275	11,475				
FORMS C / E2 / F2 - ALT. ENTRY	1,013	9,117				
GARAGE						
FORM C / C2 / E2 / E3 / F2 / F3	400			4,800		
MAJOR OPTIONS:						
EXTENDED GREAT RM. (FIRST FLR. LIVING)	-96			-960		-259
EXTENDED GREAT RM. (FULL BASEMENT)	-96			-964		
TOTAL STANDARD LIVING:						
FORM C	2,258					
FORM C - ALT. ENTRY	2,293					
FORM C2	2,555					
FORM E2	2,299					
FORM E2 - ALT. ENTRY	2,334					
FORM E3	2,596					
FORM F2	2,329					
FORM F2 - ALT. ENTRY	2,364					
FORM F3	2,595					
SITE CONDITIONS						
WIND SPEED	120 MPH					
EXPOSURE	B					
GROUND SNOW LOAD	25 PSF					
SOIL BEARING CAPACITY	3000 PSF					
LIQUID SOIL PRESSURE	45 PCF					
FROST DEPTH	36"					
DETAIL RELEASE 3						
A-22						
DESIGNATIONS						
	INTERIOR ELEVATION		DETAIL NUMBER		REVISION NUMBER	
	ELEVATION NO.		SHEET NUMBER		INTERIOR BEARING WALL	
	DATUM ELEVATION		DETAIL ENLARGEMENT		SECTION NUMBER	
	F.B. CHANGE OF FLOOR FINISH		VIEW NUMBER		SHEET NUMBER OPTION	
	BUILDING SECTION					

ARCHITECTS: DAWN KORBELAK, RA 21A01404300
 LICENSE #:
 KHV
 HOVNANIAN HOMES
 MODEL: HANOVER #2
 DRAWING TITLE: COVER SHEET - NEW JERSEY
 SHEET NO.: CS1
 CS1.NJ-HS3
 RELEASE DATE: 10/16/2020
 SHEET VERSION #:
 1
 2



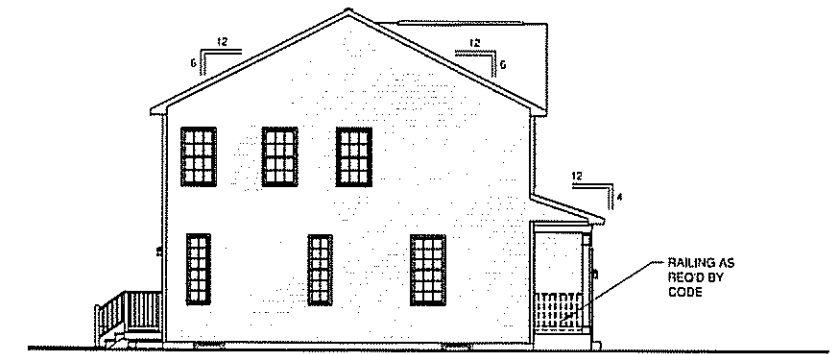
4 RIGHT SIDE ELEVATION - FORM 'C'

SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



3 REAR ELEVATION - FORM 'C'

SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



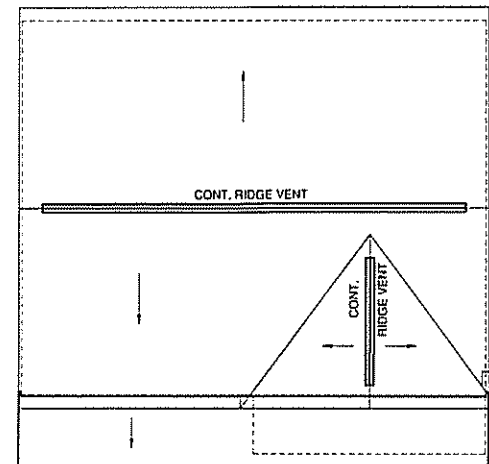
2 LEFT SIDE ELEVATION - FORM 'C'

SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



6 FRONT ELEVATION - FORM 'C' (STONE)

SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



NOTE: PROVIDE FLASHING AT ALL ROOF VALLEY AND ROOF/WALL INTERSECTIONS.

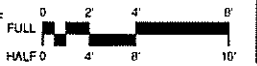
5 ROOF PLAN - FORM 'C'

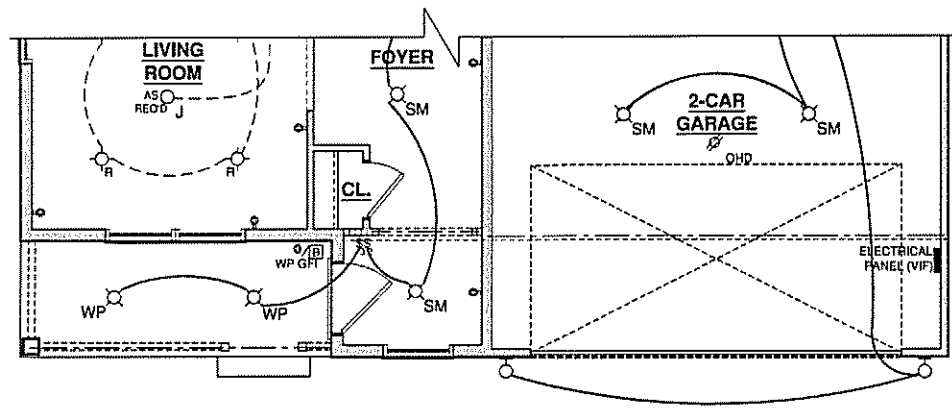
SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")



1 FRONT ELEVATION - FORM 'C' (SIDING)

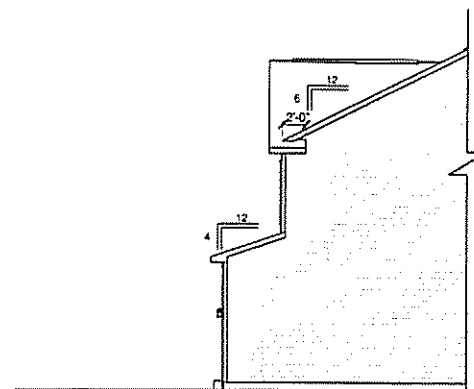
SCALE: 1/8"=1'-0" (22"x34")
SCALE: 1/16"=1'-0" (11"x17")





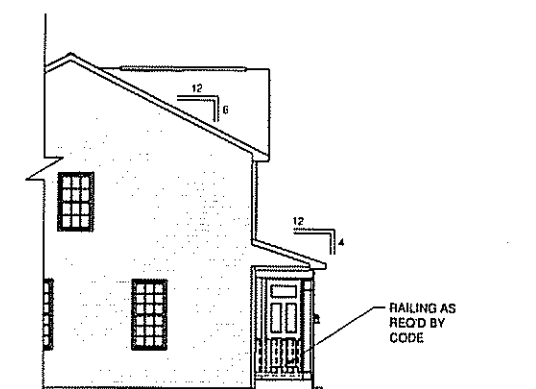
**8 PARTIAL FIRST FLOOR ELECTRICAL PLAN
FORM 'C' ALTERNATE ENTRY**

SCALE: 1/4" = 1'-0" (22"x34")
SCALE: 1/8" = 1'-0" (11"x17")



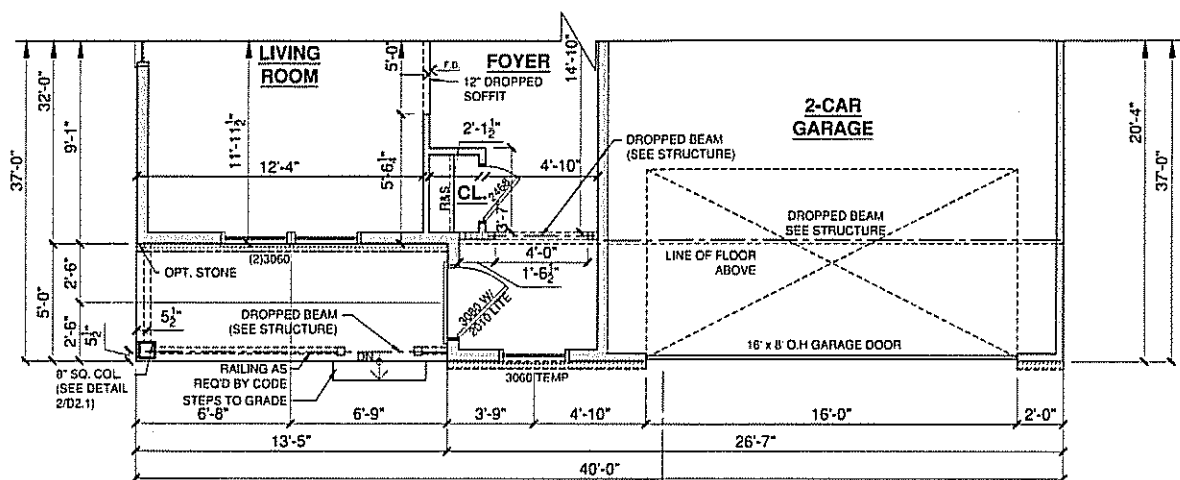
**4 PARTIAL RIGHT SIDE ELEVATION
FORM 'C' ALTERNATE ENTRY**

SCALE: 1/8" = 1'-0" (22"x34")
SCALE: 1/16" = 1'-0" (11"x17")



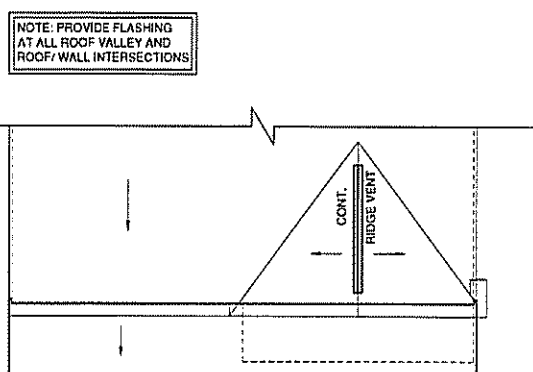
**3 PARTIAL LEFT SIDE ELEVATION
FORM 'C' ALTERNATE ENTRY**

SCALE: 1/8" = 1'-0" (22"x34")
SCALE: 1/16" = 1'-0" (11"x17")



**7 PARTIAL FIRST FLOOR PLAN
FORM 'C' ALTERNATE ENTRY**

SCALE: 1/4" = 1'-0" (22"x34")
SCALE: 1/8" = 1'-0" (11"x17")



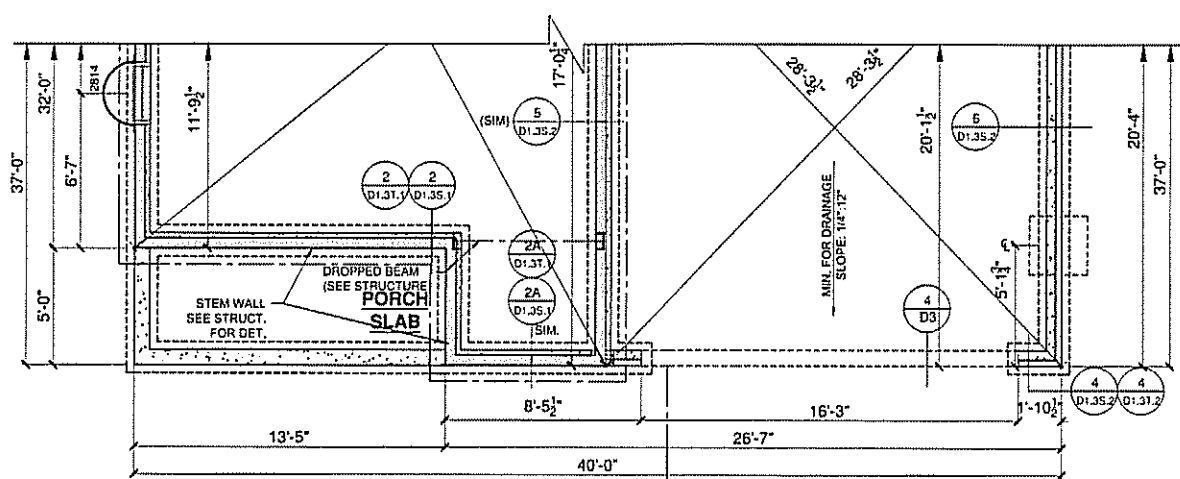
**5 PARTIAL ROOF PLAN
FORM 'C' ALTERNATE ENTRY**

SCALE: 1/8" = 1'-0" (22"x34")
SCALE: 1/16" = 1'-0" (11"x17")



**2 FRONT ELEVATION
FORM 'C' ALTERNATE ENTRY (STONE)**

SCALE: 1/8" = 1'-0" (22"x34")
SCALE: 1/16" = 1'-0" (11"x17")



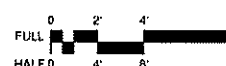
**6 PARTIAL FULL BASEMENT PLAN
FORM 'C' ALTERNATE ENTRY**

SCALE: 1/4" = 1'-0" (22"x34")
SCALE: 1/8" = 1'-0" (11"x17")

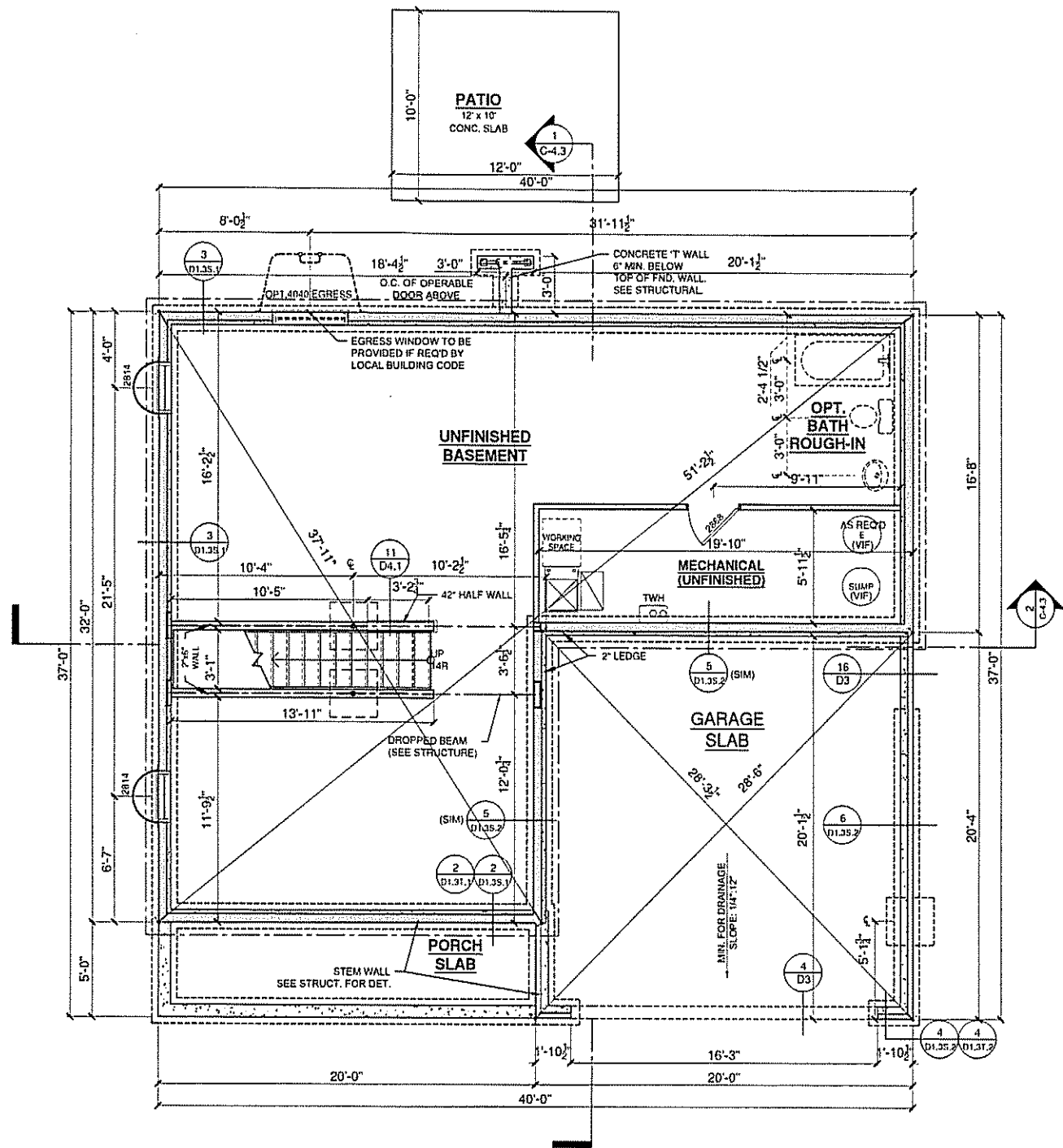


1 FRONT ELEVATION - FORM 'C' ALTERNATE ENTRY (SIDING)

SCALE: 1/4" = 1'-0" (22"x34")
SCALE: 1/8" = 1'-0" (11"x17")



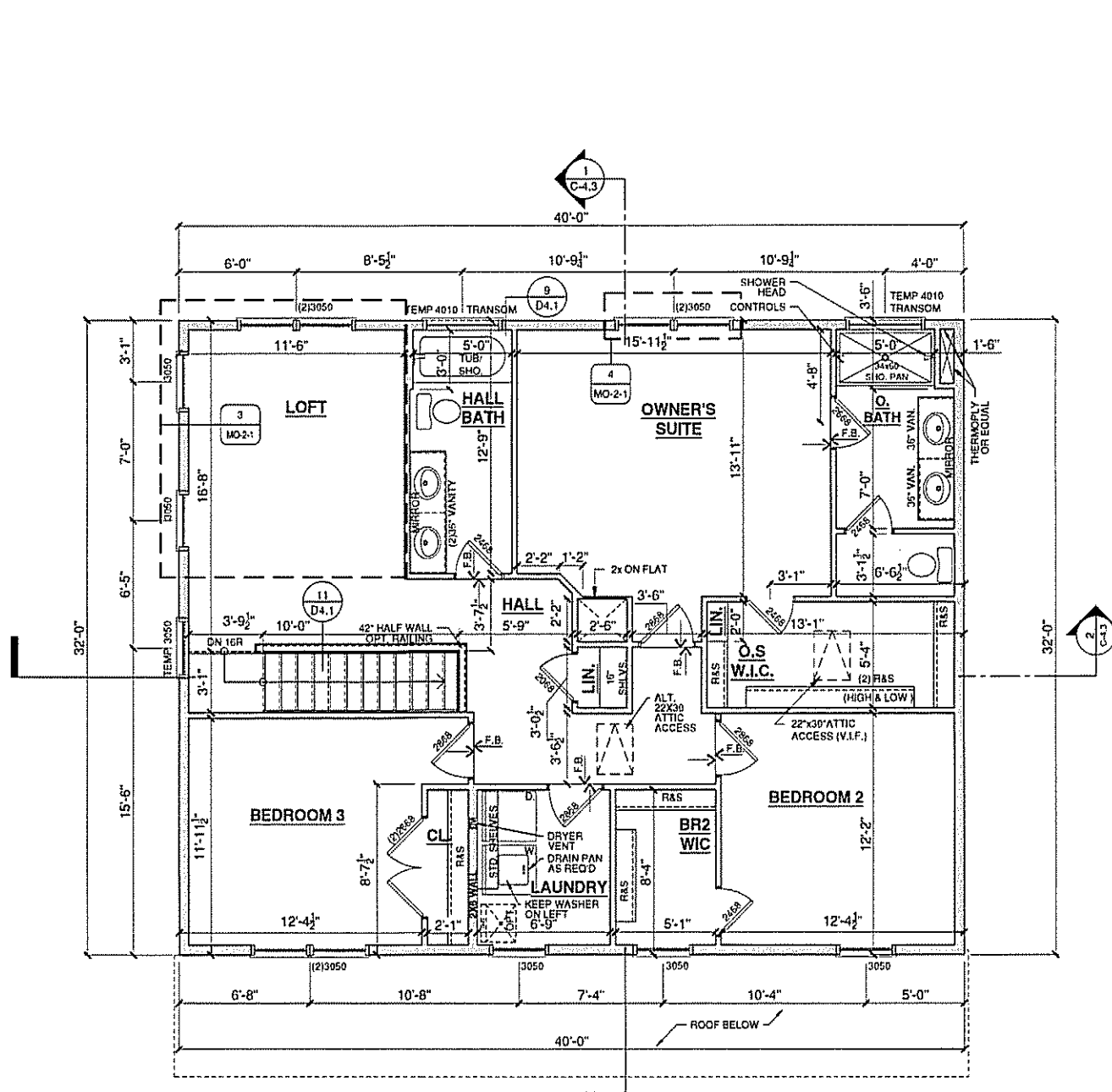
ARCHITECTS: DAWN KORBELAK, RA 21A01404300
 MODEL HANDOVER: R2
 DRAWING TITLE: ARCH ELEVATIONS - FORM C PAGE 2
 SHEET NO. C-1-2
 C-1-2-HS3
 RELEASE DATE: 10/16/2020
 SHEET VERSION #:



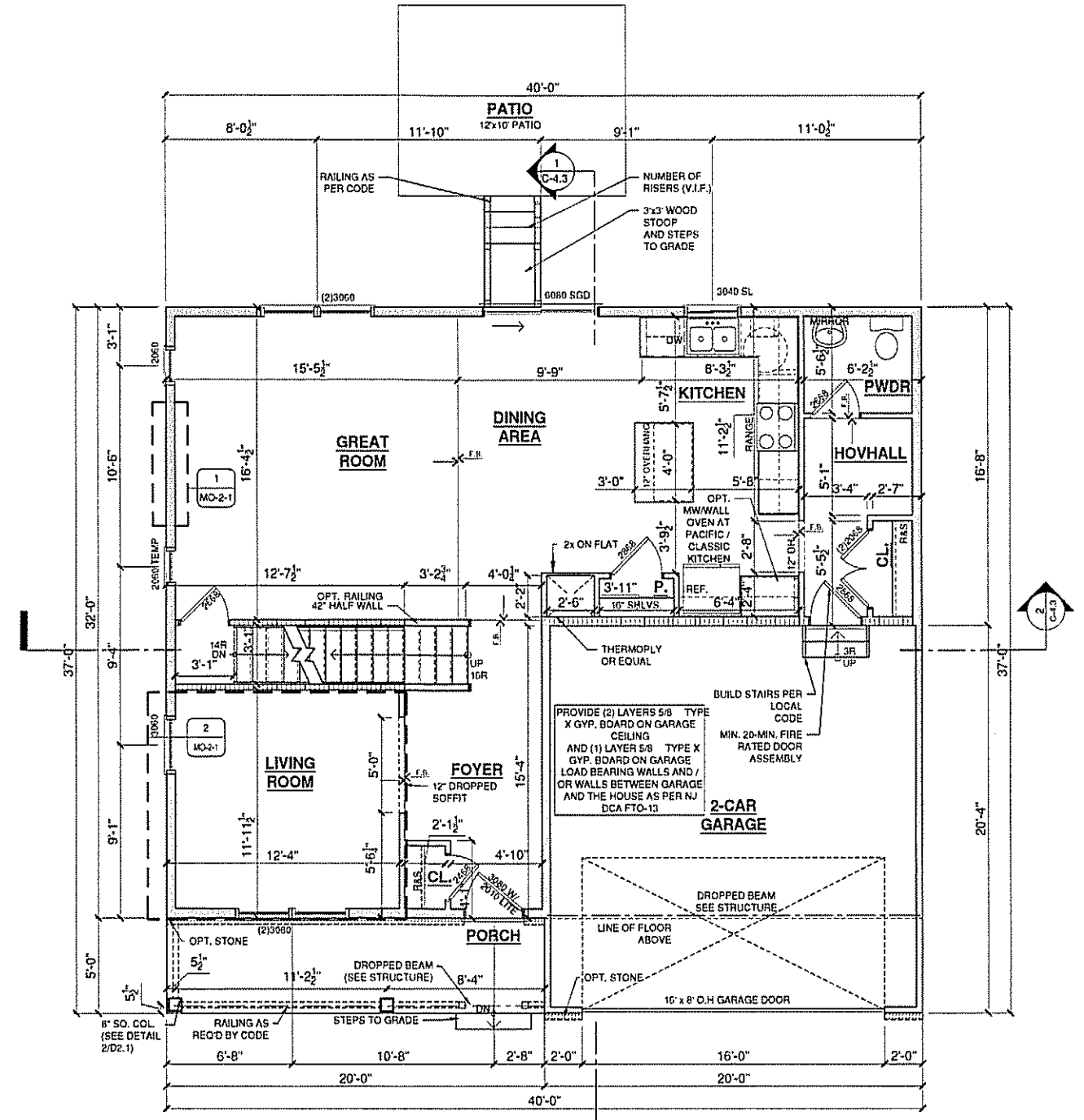
1 FULL BASEMENT PLAN - FORM 'C' (SIDING / STONE)
 SCALE: 1/4" = 1'-0" (22' x 34")
 SCALE: 1/8" = 1'-0" (11' x 17")



NOTE: EXTERIOR WALLS ARE 6" THICK
CONSISTING OF 5 1/2" STUDS WITH 1/2"
SHEATHING ALIGNED FLUSH WITH
FOUNDATION U.O.N. REFER TO DETAILS



2 SECOND FLOOR PLAN - FORM 'C' (SIDING / STONE)
SCALE: 1/4" = 1'-0" (22"x34")
SCALE: 1/8" = 1'-0" (11"x17")



1 FIRST FLOOR PLAN - FORM 'C' (SIDING / STONE)
SCALE: 1/4" = 1'-0" (22"x34")
SCALE: 1/8" = 1'-0" (11"x17")



ARCHITECTS: DAWN KORBEK, RA 21A014043001
 MODEL: HANOVER - 12
 DRAWING TITLE: SHEET NO. C-14
 C-14