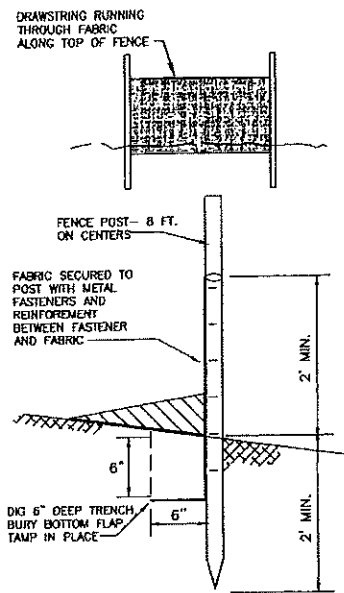


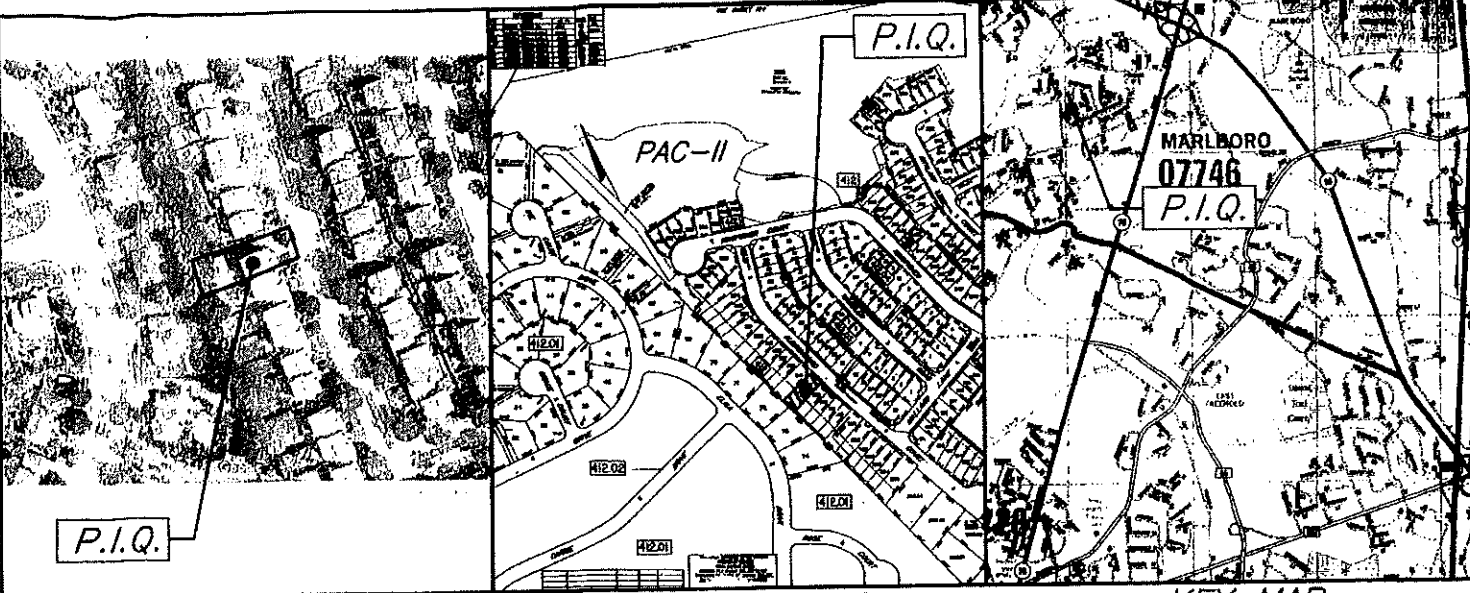
SEEDING NOTES

- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED. TEMPORARY AND PERMANENT SEEDING MIXTURES SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL:
 - TEMPORARY SEEDING: PERENNIAL RYEGRASS @ 1.0 LB. PER 1000 S.F.
 - PERMANENT SEEDING:
 - HARD FESCUE AND/OR STRONG CREeping RED FESCUE @ 4.0 LBS PER 1000 S.F.
 - PERENNIAL RYEGRASS @ 1.0 LB. PER 1000 S.F.
 - KENTUCKY BLUEGRASS @ 1.0 LB. PER 1000 S.F.
- ALL SEEDING AND MULCHING SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- SEED GERMINATION SHALL BE TESTED WITHIN 12 MONTHS OF PLANTING DATE. ADDITIONAL SEEDING SHALL BE PERFORMED IF LESS THAN 50% OF SEED GERMINATION RATES RESULT.
- TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEMS OCCUR, THE ERODED AREAS SHALL BE REPAIRED WITH A MULCH AS INDICATED IN NOTE NO. 5.
- MULCH SHALL BE UNROTATED SMALL GRAM STRAW APPLIED AT A RATE OF 1 1/2 TO 2 TONS PER ACRE SPREAD UNIFORMLY AT 70 TO 90 POUNDS PER 1000 SF. ANOTHER MULCH IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING LIQUID MULCH BINDERS:
 - ORGANIC AND VEGETABLE BASE BINDERS- POWDER BASED HYDROPHILIC MATERIALS MIXED WITH WATER TO FORM A GEL. THE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPEDIC GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS RECOMMENDED BY MANUFACTURER.
 - SYNTHETIC BINDERS- HIGH POLYMER SYNTHETIC EMULSION, DILUTED WITH WATER AND WHEN APPLIED, DRIED AND CURED SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. APPLY AT RATES RECOMMENDED BY MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
 APPLICATIONS SHOULD BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA TO BE UNIFORM IN APPEARANCE.
- LIMESTONE AND FERTILIZER TO BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER SHALL BE 10-20-10 (PERMANENT VEGETATIVE COVER FERTILIZER SHALL BE 10-10-10) WITH 50% WATER INSOLUBLE NITROGEN APPLIED AT A RATE OF 11 POUNDS PER 1000 SF OR AS DETERMINED BY A SOIL TEST. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE AS SOIL TESTING INDICATES.
- IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREAS ARE TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE NO. 5.



LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY LINE
- SETBACK LINE
- CENTERLINE ROADWAY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED GAS LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- EXISTING ELEV.
- PROPOSED ELEV.
- SOIL BORING

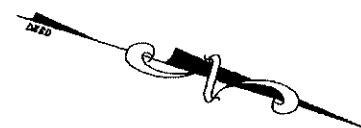


AREAL MAP
Scale: 1" = 200'±

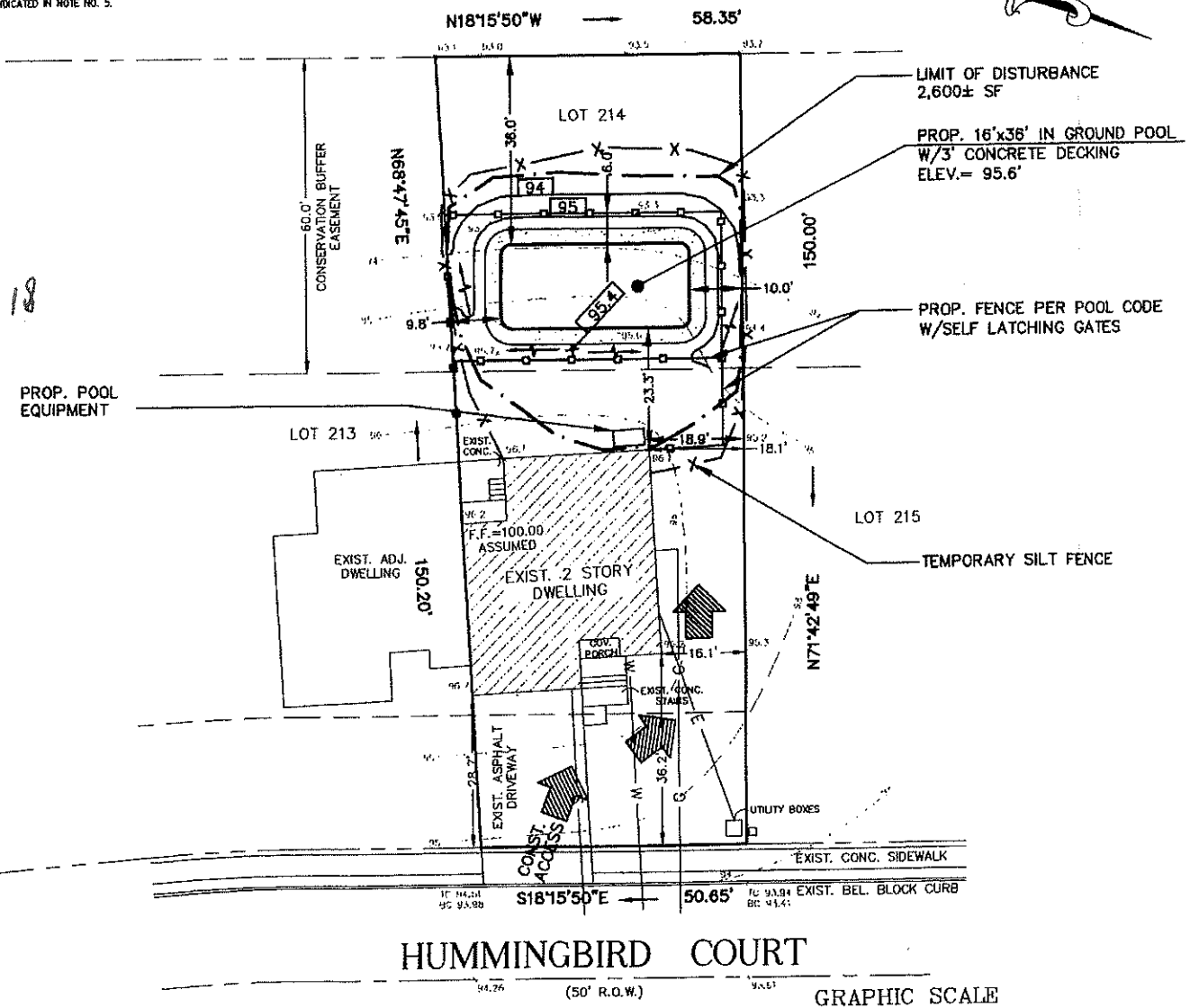
VICINITY MAP
Scale: 1" = 200'±

KEY MAP
Scale: 1" = 2000'±

SILT FENCE & INSTALLATION DETAIL
N.T.S.



MARLBORO TOWNSHIP ZONING BOARD
MAY 24 2021
ZB# 21-6747
A 18



GENERAL NOTES

- Owner and Applicant: Henry Lee, 32 Hummingbird Court, Marlboro, N.J. 07746
- Property known as Lot 214 Block 412 as shown on plat maps of the Township of Marlboro, Monmouth County, New Jersey.
- Pool Plan based on:
 - Survey of Property Lot 214 Block 412, Marlboro Township, Monmouth County, New Jersey prepared by CP&S Engineering Associates Inc. and signed by M. Daniel P. Burdick, N.J.P.E. #31172 and dated 5/1/2020.
 - Topography performed by RC Burdick PE P.P.C. by M. Stanley Hans Jr., N.J.P.E. No. 29152, and performed 5/1/2020.
- Zoning: PAC-2

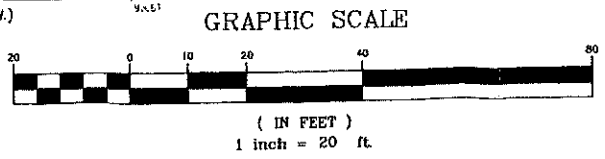
	Required	Existing	Proposed
Minimum Lot Area	4,000sf	6,175sf	6,175sf
Minimum Lot Width	N/A	50.6	50.6
Minimum Setbacks			
Principal Building			
Front	25	28.7	28.7
Side	10	16.7	16.7
Rear Tract Buffer	60	75.2	75.2
Accessory Building/Pool			
Front	25	N/A	25
Side	10	N/A	10
Rear Tract Buffer	60	N/A	36
Max. Building Lot Cov.	45%	17.4%	17.4%
Max. Impervious Cov.	55%	27.2%	31.5%
Max. Building Height	35	Conform	Conform
Proposed Variance			
- Approvals requested to construct an in-ground swimming pool in the rear of a single family attached dwelling within the PAC-2 zone. Variance requested to place pool in rear conservation buffer area. The proposed rear setback for pool is 26 ft. where 60 ft. is required.
- Location of existing utilities provided by observation of surface features and mark outs where they exist. Contractor to verify the location of existing utilities and to designate a qualified employee responsible for site safety prior to the start of construction.
- All utilities to be provided by existing connection to municipal and/or public utilities adjacent to the site.
- Property located within the FEMA Advisory Zone A, a moderate hazard area FEMA Advisory mapping looked through 10-11-2020.
- Vertical Datum is assumed, rear finish floor at 100.0.
- Survey Error of closure more accurate than 1/10,000.

Lot Coverage Calculations:

Category	Area	Percentage
Existing Building	1,400 sf	
Existing Home and Covered Porch	1,400 sf	17.4%
Existing Total	2,800 sf	
Proposed Building	1,400 sf	
Proposed Front Steps	93 sf	
Proposed Rear Deck, Steps & Patio	1,000 sf	
Proposed Driveway	612 sf	
Proposed Total	3,505 sf	43%
Total Lot Coverage	6,305 sf	
Existing Total	2,800 sf	
Proposed Total	3,505 sf	37.5%

- Contractor to verify location of all utilities prior to start of construction. Utilities shown are per visual observation of physical features and/or mark outs and their location is approximate. The undersigned professional is not responsible for the presence of underground utilities or structures if they are not visible or otherwise disclosed by any of the above data. Pool contractor shall utilize the service of CALL DIG 800-272-0000 to accurately locate utilities.
- Pool to be secured by minimum 4' fence with self-latching and closing gates by property owner. Fence and all construction shall comply with the International Building Code and the International Residential Code, New Jersey Edition, including ANSI A SPI-2 Standards for Residential In-Ground Swimming Pools, current edition. Where adjacent fences are used to secure the pool the applicant shall take full responsibility for repair or replacement should they be damaged or removed and shall seek a variation for the fence where required.
- All electrical equipment must be located at least 10' from the swimming pool.
- Pool to be staked out by a New Jersey Professional Land Surveyor prior to beginning of construction.
- The contractor shall protect all existing structures from damage and/or failure by accepted methods as may be required by OSHA and other regulatory agencies. The Design Engineer accepts no responsibility for the safety or accuracy of the existing structures.
- The Design Engineer assumes no responsibility for pool construction in easement or required setback areas not shown on the survey provided to the Design Engineer. The pool contractor and property owner shall verify the pool layout and all dimensions prior to construction.
- Pool to be constructed in accordance with the International Building Code, New Jersey Edition, current edition.
- Pool to be constructed in accordance with the International Building Code, New Jersey Edition, current edition.

HUMMINGBIRD COURT



POOL VARIANCE PLAN

32 HUMMINGBIRD COURT
LOT 214 BLOCK 412
TOWNSHIP OF MARLBORO
MONMOUTH COUNTY, NEW JERSEY

NO.	DATE	DESCRIPTION	BY	DATE
				10/9/2020

DATE: 10/9/2020
SCALE: 1"=20'
JOB No.: 20-1444
SHEET: 1 of 1

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